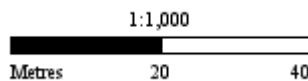


**Subject Land** Address: 666 Doncaster Road DONCASTER VIC, 3108

Whilst all care has been taken in the preparation of this cadastral base map, Manningham and the State of Victoria accepts no responsibility for the accuracy of any information shown. Users should rely on their own enquiries in order to validate information shown on this map. This information is for Demonstration only.



15/09/2017 11:34 am

666 Doncaster Rd, Doncaster VIC 3108  
DEVELOPMENT SCHEDULE

Job Number 12068  
File K:\12000\12068\Administration\12 Schedules\12.6.01 Development Density  
Date 29.03.17



Area	RESIDENTIAL MIX							TOTAL APTS/FLOOR	SERVICES/CIRC Area	RETAIL Area (GFA)	RESTAURANT Area (GFA)	COMMUNAL Area (GFA)	CARPARK		BALCONIES Area	AREA PER LEVEL (EXCLUDING BALCONIES)		FLOOR EFFICIENCY (EX CARS & BALCONIES) %
	140sqm	50sqm	65sqm	75sqm	80sqm	110sqm	270sqm						No.	Area		Sellable sqm	GFA	
	TH	1 Bed	2 Bed	2 Bed + 2 Ba	2 Bed + 2 Ba + s	3 Bed	PH											
Basement 04								0	115				58	2025		0	2140	0.00%
Basement 03								0	87				60	2054		0	2141	0.00%
Basement 02								0	87				60	2054		0	2141	0.00%
Basement 01								0	189				43	1615		0	1804	0.00%
Lower Ground	284	4						4	82				6	325	172	284	691	77.60%
Ground Floor	439		2		1			3	522	351	224				65	1013.88	1535.88	77.28%
Level 01	875		7	1	2	2	1	13	308			142			332	875	1325	66.04%
Level 02	1113		7	1	3	5		16	341						230	1113	1454	76.55%
Level 03	1098		2	4	4	5		15	322						229	1098	1420	77.32%
Level 04	987		4	4	4		2	14	197						322	987	1184	83.36%
Level 05	982		4	3	4	2	1	14	197						165	982	1179	83.29%
Level 06	988		3	4	6		1	14	197						192	988	1185	83.38%
Level 07	987		3	5	5		1	14	197						170	987	1184	83.36%
Level 08	983		4	3	4	2	1	14	197						198	983	1180	83.31%
Level 09	983		4	3	4	2	1	14	198						169	983	1181	83.23%
Level 10	1003		2	2	4	3	2	13	197						229	1003	1200	83.58%
Level 11	811		1	1	2	4	2	10	183						118	811	994	81.59%
Level 12	248						2	2	136			18			171	248	402	61.69%
Level 13	237						1	1	127						87	237	364	65.11%
Level 14								0								0	0	-
Level 15								0								0	0	-
Level 16								0								0	0	-
Level 17								0								0	0	-
Level 18								0								0	0	-
Level 19								0								0	0	-
Level 20								0								0	0	-
<b>Totals</b>	<b>12018</b>	<b>4</b>	<b>43</b>	<b>31</b>	<b>43</b>	<b>25</b>	<b>12</b>	<b>3</b>	<b>3879</b>	<b>350.88</b>	<b>224</b>	<b>160</b>	<b>227</b>	<b>8073</b>	<b>2849</b>	<b>12592.88</b>	<b>24704.88</b>	
<b>TOTAL APARTMENTS =</b>								<b>12176</b>	<b>161</b>									
		<b>2%</b>	<b>27%</b>	<b>19%</b>	<b>27%</b>	<b>16%</b>	<b>7%</b>	<b>2%</b>										

<b>BICYCLE ALLOCATION</b>	
RESIDENTS	32
VISITORS	24
RETAIL/RESTAURANT STAFF	5
RETAIL/RESTAURANT CUSTOMERS	5
<b>TOTAL BICYCLES</b>	<b>66</b>
STORAGE CAGES	171

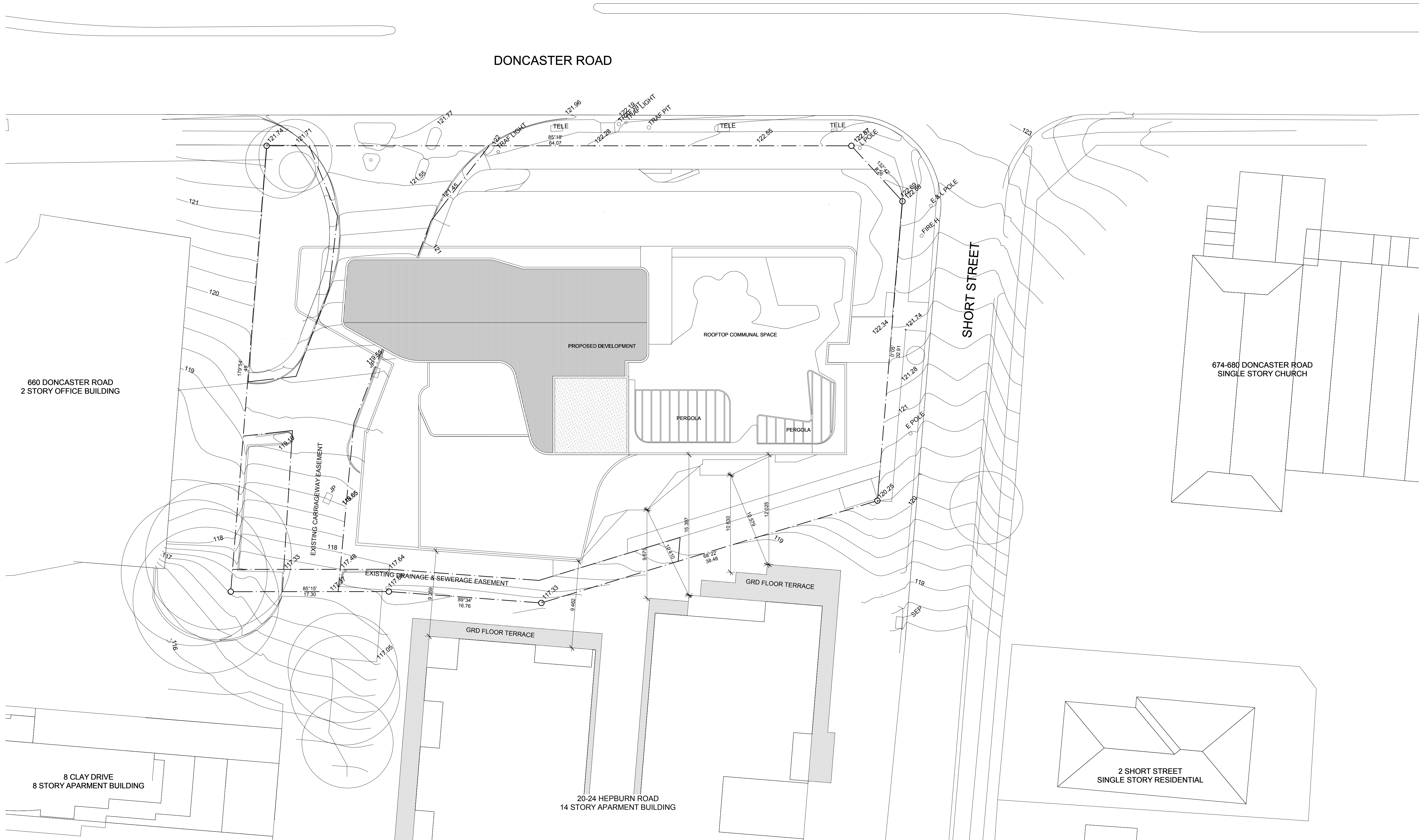
SITE AREA INC. EASEMENTS (SQM)	3259
BUILDING FOOTPRINT (SQM)	1895
<b>SITE COVERAGE</b>	<b>58%</b>

IMPERVIOUS AREA (SQM)	2999
<b>PERCENTAGE</b>	<b>92%</b>

OVERALL ROOF AREA	1895
DESIGN ELEMENT (SQM)	326
<b>DESIGN ELEMENT COVERAGE</b>	<b>17%</b>

NOTES REFER TO TRAFFIC REPORT FOR CARPARK ALLOCATION REQUIREMENTS AND ALLOCATION  
RETAIL CARPARKING ALLOWANCE BASED ON 1.5 SPACES PER 100sqm AS PER PARKING OVERLAY (P01)  
COMMERCIAL CARPARKING ALLOWANCE BASED ON 2.5 SPACES PER 100sqm AS PER PARKING OVERLAY (P01)





# TOWNPLANNING

DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS		
Structural Engineers	<input type="checkbox"/> Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286
Services Engineers	<input type="checkbox"/> JBA Consulting Engineers Email: keah.bry@jba.com.au	T 3 9560 2286
Building Surveyors	<input type="checkbox"/> Checkpoint Building Surveyors Email: gavin@check-point.com.au	T 3 9673 0000
Town Planner	<input type="checkbox"/> Pro-Urban Planning Email: high.mcdonell@pro-urban.com.au	T 0403 644 026
Traffic Engineers	<input type="checkbox"/> MGA Traffic Email: peter.mainas@mgatraffic.com.au	T 0422 249 485

**BRABIAN INVESTMENTS Pty Ltd**

Sydney Melbourne Brisbane

Level 2, 448 St Kilda Road  
Melbourne VIC 3004 Australia

TELEPHONE +61 3 8666 3999  
FACSIMILE +61 3 8662 7228

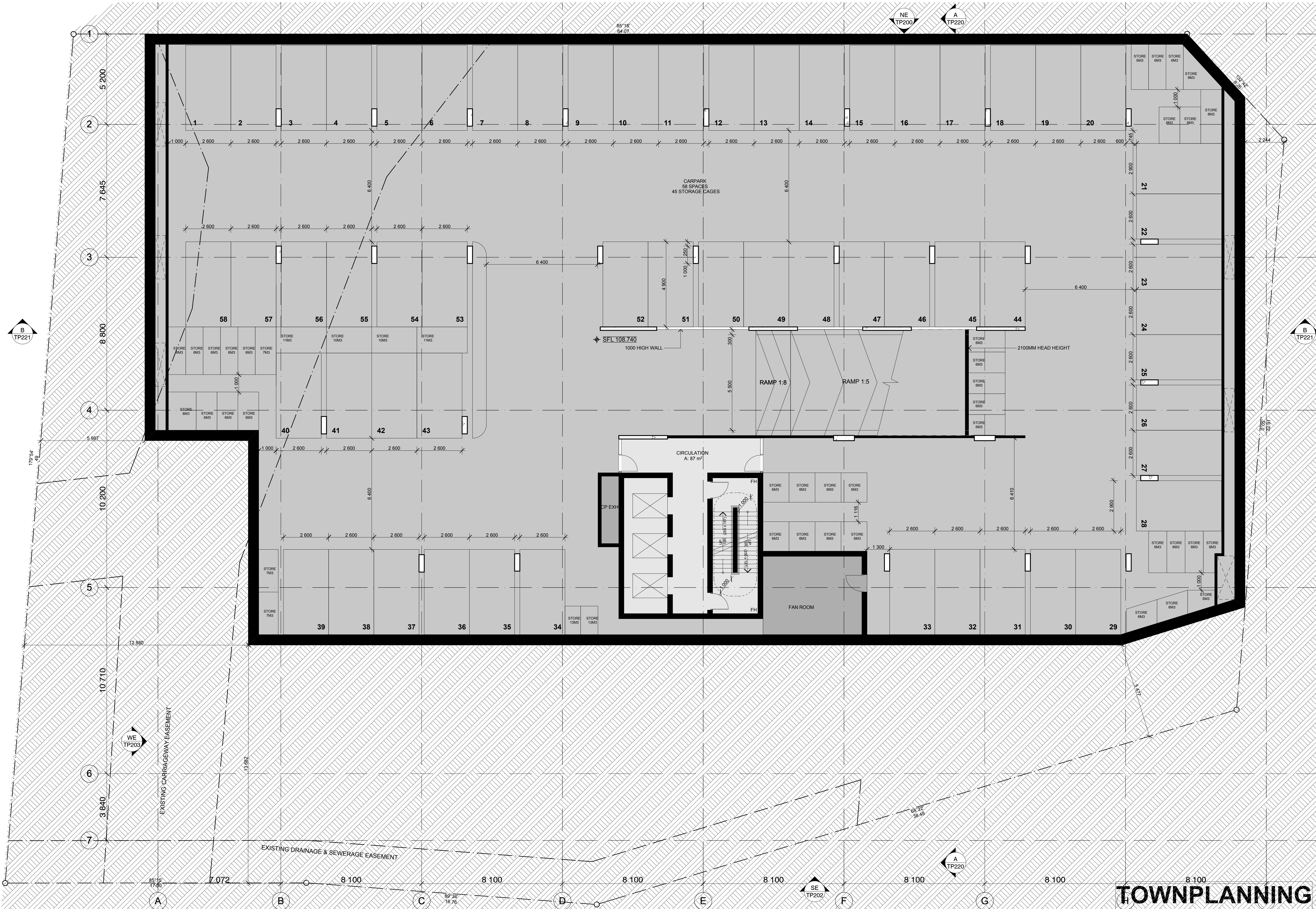
arch@plusarchitecture.com.au  
www.plusarchitecture.com.au

Plus Architecture Pty. Ltd.  
ACN 091690336

PROJECT <b>666 Doncaster Road</b>	DRAWING TITLE <b>SITE PLAN</b>
--------------------------------------	-----------------------------------

SCALE <b>1:200</b>	PLOT DATE <b>29/03/2017</b>	
DATE <b>4/12/2015</b>	CHECKED <b>EL</b>	
DRAWN <b>DL</b>	JOB NO. <b>12068</b>	REVISION <b>TP002</b>
		<b>1</b>

In accepting and utilising this document the recipient agrees that Plus Architecture Pty. Ltd. ACN 091690336, retains all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against Plus Architecture resulting from unauthorised changes, or to release the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. Plus Architecture makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.



# TOWNPLANNING

DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS			
Structural Engineers	<input type="checkbox"/> Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286	
Services Engineers	<input type="checkbox"/> JBA Consulting Engineers Email: kash.bry@jba.com.au	T 3 9560 2286	
Building Surveyors	<input type="checkbox"/> Checkpoint Building Surveyors Email: gavin@check-point.com.au	T 3 9673 0000	
Town Planner	<input type="checkbox"/> Pro-Urban Planning Email: high.mcdonell@pro-urban.com.au	T 0403 644 026	
Traffic Engineers	<input type="checkbox"/> MGA Traffic Email: peter.malina@mgatrafice.com.au	T 0422 249 485	

**BRABIAN INVESTMENTS Pty Ltd**



PROJECT  
**666 Doncaster Road**

DRAWING TITLE  
**BASEMENT 4**

SCALE  
**1:100**

DATE  
**4/12/2015**

PLOT DATE  
**29/03/2017**

DRAWN  
**DL**

CHECKED  
**EL**

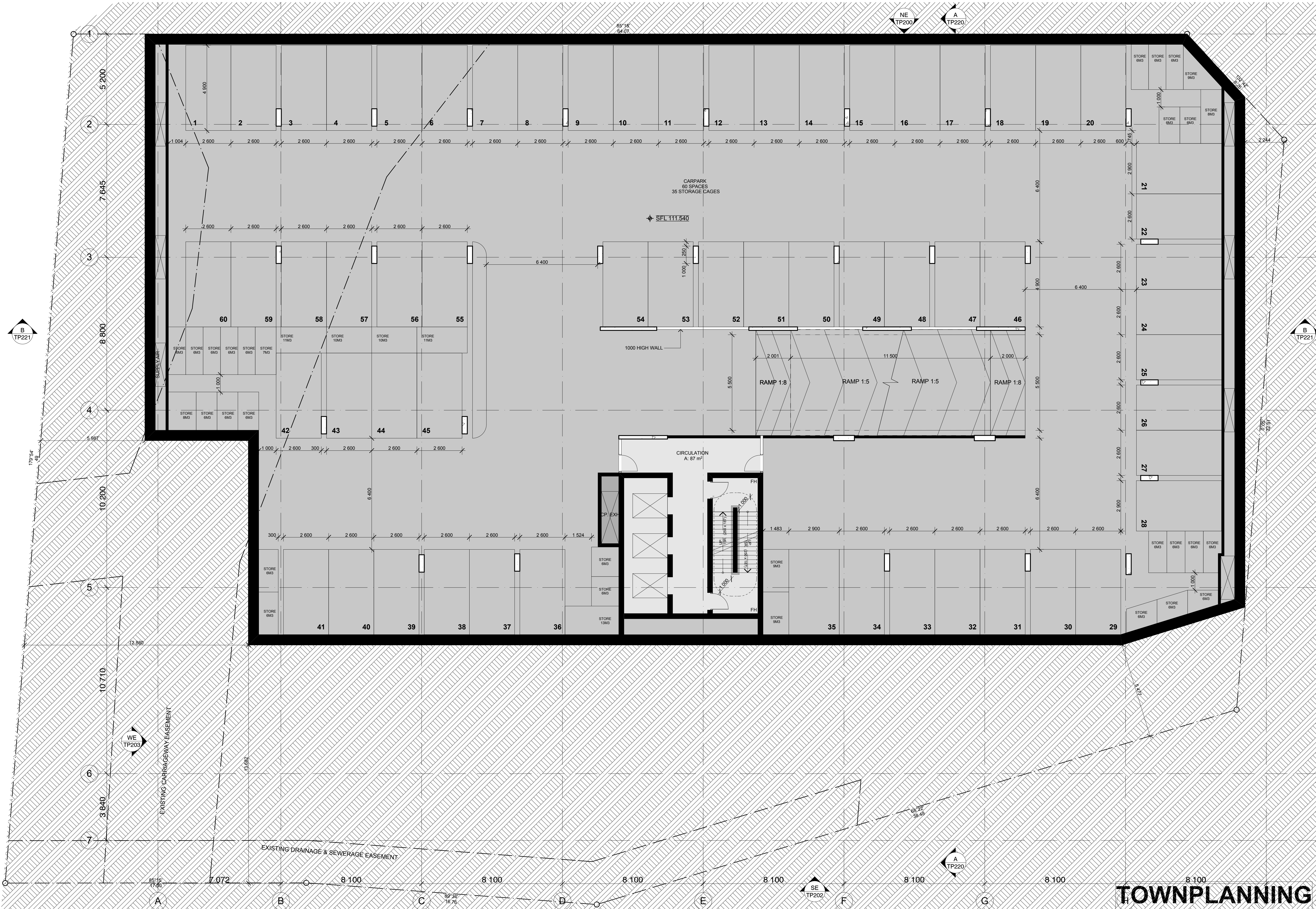
JOB NO.  
**12068**

DRAWING NO.  
**TP095**

REVISION  
**1**

In accepting and utilising this document the recipient agrees that Plus Architecture Pty. Ltd. ACN 091690336, retains all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against Plus Architecture resulting from unauthorised changes, or to release the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. Plus Architecture makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.





# TOWNPLANNING

DATE	REVISION	BY	CHK	NO.	DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1					

CONSULTANTS			
Structural Engineers	<input type="checkbox"/> Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286	
Services Engineers	<input type="checkbox"/> JBA Consulting Engineers Email: kash.bryce@jba.com.au	T 3 9560 2286	
Building Surveyors	<input type="checkbox"/> Checkpoint Building Surveyors Email: gavin@checkpoint.com.au	T 3 9673 0000	
Town Planner	<input type="checkbox"/> Pro-Urban Planning Email: high.mcdonell@pro-urban.com.au	T 0403 644 026	
Traffic Engineers	<input type="checkbox"/> MGA Traffic Email: peter.malina@mgatrafice.com.au	T 0422 249 485	

**BRABIAN INVESTMENTS Pty Ltd**

Level 2, 448 St Kilda Road  
Melbourne VIC 3004 Australia  
arch@plusarchitecture.com.au  
www.plusarchitecture.com.au

TELEPHONE +61 3 8698 3999  
FACSIMILE +61 3 9682 7228  
Plus Architecture Pty. Ltd.  
ACN 091690336

PROJECT  
**666 Doncaster Road**

DRAWING TITLE  
**BASEMENT 3**

SCALE  
**1:100**

DATE  
**4/12/2015**

PLOT DATE  
**29/03/2017**

DRAWN  
**DL**

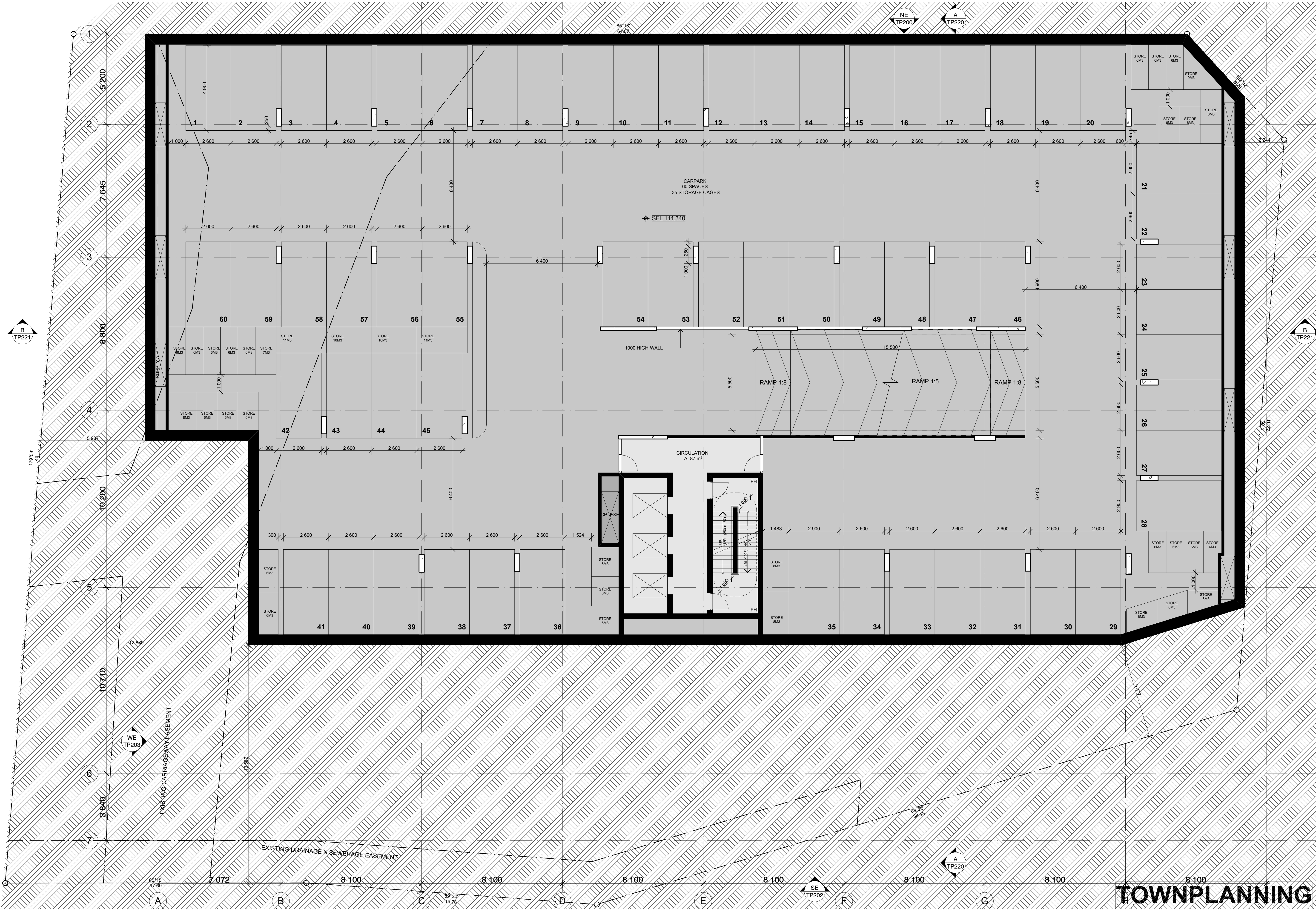
CHECKED  
**EL**

JOB NO.  
**12068**

DRAWING NO.  
**TP096**

REVISION  
**1**

In accepting and utilising this document the recipient agrees that Plus Architecture Pty. Ltd. ACN 091690336, retains all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Plus Architecture resulting from unauthorised changes, or to reuse the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. Plus Architecture makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.



# TOWNPLANNING

DATE	REVISION	BY	CHK	NO.	DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1					

CONSULTANTS			
Structural Engineers	<input type="checkbox"/> Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286	
Services Engineers	<input type="checkbox"/> JBA Consulting Engineers Email: kash.bry@jba.com.au	T 3 9560 2286	
Building Surveyors	<input type="checkbox"/> Checkpoint Building Surveyors Email: gavin@checkpoint.com.au	T 3 9673 0000	
Town Planner	<input type="checkbox"/> Pro-Urban Planning Email: high.mcdonell@pro-urban.com.au	T 0403 644 026	
Traffic Engineers	<input type="checkbox"/> MGA Traffic Email: peter.malina@mgatrafice.com.au	T 0422 249 485	

**BRABIAN INVESTMENTS Pty Ltd**

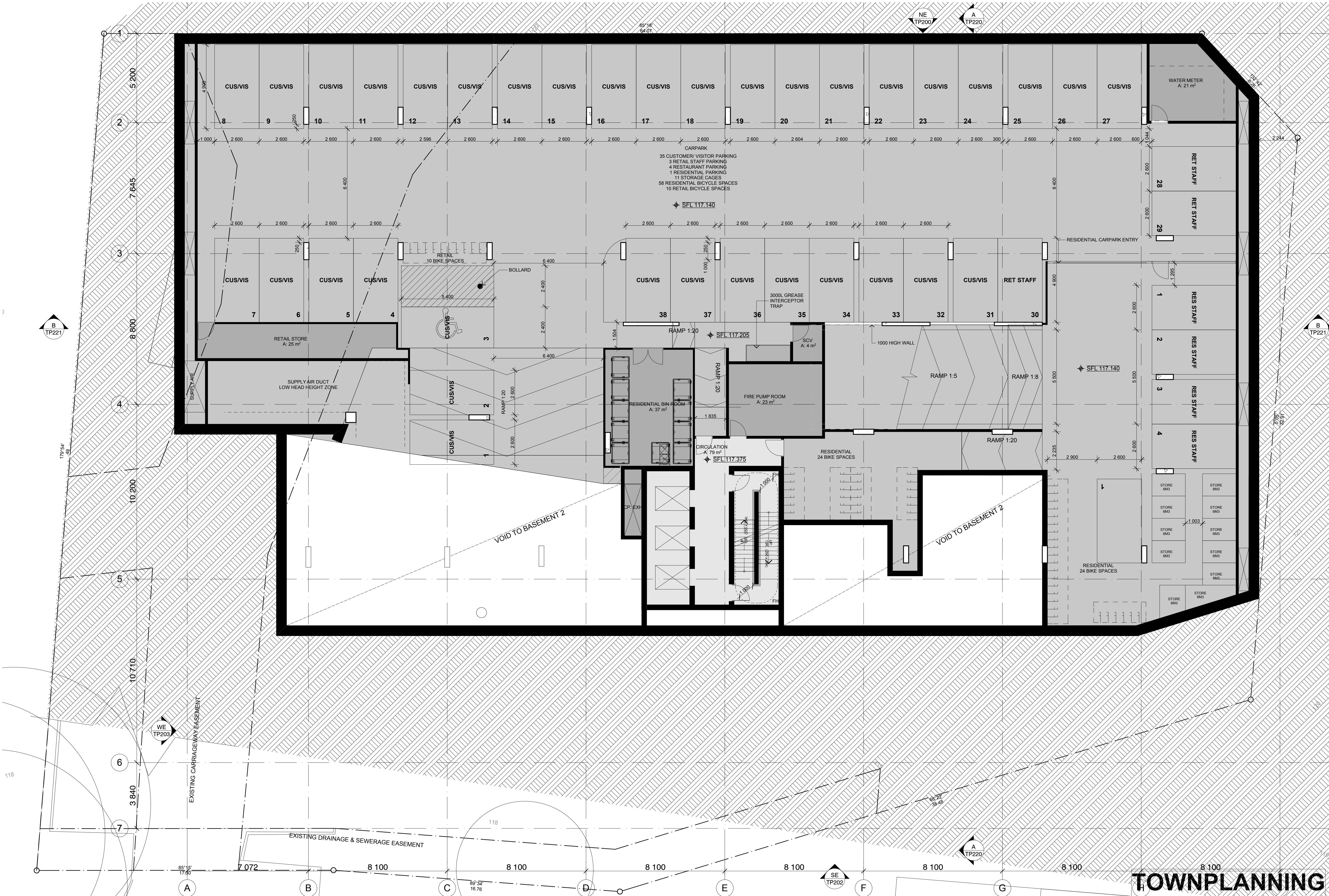
Sydney Melbourne Brisbane  
Level 2, 448 St Kilda Road  
Melbourne VIC 3004 Australia  
arch@plusarchitecture.com.au  
www.plusarchitecture.com.au

TELEPHONE +61 3 8698 3999  
FACSIMILE +61 3 9682 7228  
Plus Architecture Pty. Ltd.  
ACN 091690336

PROJECT <b>666 Doncaster Road</b>	DRAWING TITLE <b>BASEMENT 2</b>	SCALE <b>1:100</b>	
DATE <b>4/12/2015</b>	PLOT DATE <b>29/03/2017</b>	DRAWN BY <b>DL</b>	
JOB NO. <b>12068</b>	DRAWING NO. <b>TP097</b>	REVISION <b>1</b>	

In accepting and utilising this document the recipient agrees that Plus Architecture Pty. Ltd. ACN 091690336, retains all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against Plus Architecture resulting from unauthorised changes, or to reuse the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. Plus Architecture makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.





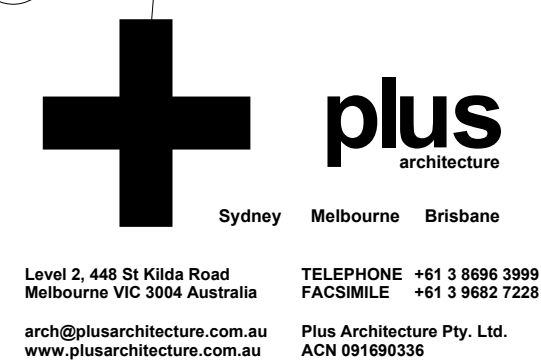
# TOWNPLANNING

DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS			
Structural Engineers	<input type="checkbox"/> Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286	
Services Engineers	<input type="checkbox"/> JBA Consulting Engineers Email: keah.bry@jba.com.au	T 3 9560 2286	
Building Surveyors	<input type="checkbox"/> Checkpoint Building Surveyors Email: gavin@checkpoint.com.au	T 3 9673 0000	
Town Planner	<input type="checkbox"/> Pro-Urban Planning Email: high.mcdonell@pro-urban.com.au	T 0403 844 026	
Traffic Engineers	<input type="checkbox"/> MGA Traffic Email: peter.malina@mgatrafice.com.au	T 0422 249 485	

**BRABIAN INVESTMENTS Pty Ltd**



PROJECT  
**666 Doncaster Road**

DRAWING TITLE  
**BASEMENT 1**

SCALE	DATE	DATE	DATE	DATE
1:100	4/12/2015	29/03/2017		
	DRAWN	CHECKED	DRAWING NO.	REVISION
	DL	EL	<b>12068</b>	<b>TP098</b>
				1

In accepting and utilising this document the recipient agrees that Plus Architecture Pty. Ltd. ACN 091660336, retains all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against Plus Architecture resulting from unauthorised changes, or to reuse the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. Plus Architecture makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.





DATE	REVISION	BY	CHK	NO.	DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1					

CONSULTANTS			
Structural Engineers	<input type="checkbox"/>	Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286
Services Engineers	<input type="checkbox"/>	JBA Consulting Engineers Email: keah.bry@jba.com.au	T 3 9560 2286
Building Surveyors	<input type="checkbox"/>	Checkpoint Building Surveyors Email: gavin@check-point.com.au	T 3 9673 0000
Town Planner	<input type="checkbox"/>	Pro-Urban Planning Email: high.mcdonald@pro-urban.com.au	T 0403 644 026
Traffic Engineers	<input type="checkbox"/>	MGA Traffic Email: peter.mainas@mgatraffic.com.au	T 0422 249 485

**BRABIAN INVESTMENTS Pty Ltd**

Sydney Melbourne Brisbane  
Level 2, 448 St Kilda Road  
Melbourne VIC 3004 Australia  
arch@plusarchitecture.com.au  
www.plusarchitecture.com.au

TELEPHONE +61 3 8698 3999  
FACSIMILE +61 3 9682 7228  
Plus Architecture Pty. Ltd.  
ACN 091690336

PROJECT	DRAWING TITLE	SCALE	DATE	PLOT DATE
666 Doncaster Road	LOWER GROUND	1:100	4/12/2015	29/03/2017
DRAWN BY	CHECKED	DRAWING NO.	REVISION	
DL	EL	12068	TP099	1

# TOWNPLANNING





DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS				
Structural Engineers	<input type="checkbox"/>	Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286	
Services Engineers	<input type="checkbox"/>	JBA Consulting Engineers Email: keah.bry@jba.com.au	T 3 9560 2286	
Building Surveyors	<input type="checkbox"/>	Checkpoint Building Surveyors Email: gavin@checkpoint.com.au	T 3 9673 0000	
Town Planner	<input type="checkbox"/>	Pro-Urban Planning Email: high.mcdonald@pro-urban.com.au	T 0403 644 026	
Traffic Engineers	<input type="checkbox"/>	MGA Traffic Email: peter.mainas@mgatrafice.com.au	T 0422 249 495	

**BRABIAN INVESTMENTS Pty Ltd**

**plus** architecture  
Sydney Melbourne Brisbane  
Level 2, 448 St Kilda Road  
Melbourne VIC 3004 Australia  
arch@plusarchitecture.com.au  
www.plusarchitecture.com.au

TELEPHONE +61 3 8686 3999  
FACSIMILE +61 3 9662 7228  
Plus Architecture Pty. Ltd.  
ACN 091690336

PROJECT	DRAWING TITLE	SCALE	DATE	PLOT DATE
666 Doncaster Road	GROUND	1:100	4/12/2015	29/03/2017
			DRAWN DL	CHECKED EL
			JOB NO. 12068	DRAWING NO. TP100
				REVISION 1

**OWNPLANNING**

In accepting and utilising this document the recipient agrees that Plus Architecture Pty. Ltd. ACN 091690336, retains all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against Plus Architecture resulting from unauthorised changes, or to release the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. Plus Architecture makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.





# TOWNPLANNING

DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS			
Structural Engineers	<input type="checkbox"/> Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286	
Services Engineers	<input type="checkbox"/> JBA Consulting Engineers Email: jba@jba.com.au	T 3 9560 2286	
Building Surveyors	<input type="checkbox"/> Checkpoint Building Surveyors Email: gavin@checkpoint.com.au	T 3 9673 0000	
Town Planner	<input type="checkbox"/> Pro-Urban Planning Email: high.indonesia@pro-urban.com.au	T 0403 644 026	
Traffic Engineers	<input type="checkbox"/> MGA Traffic Email: peter.mainas@mgatraffic.com.au	T 0422 249 495	

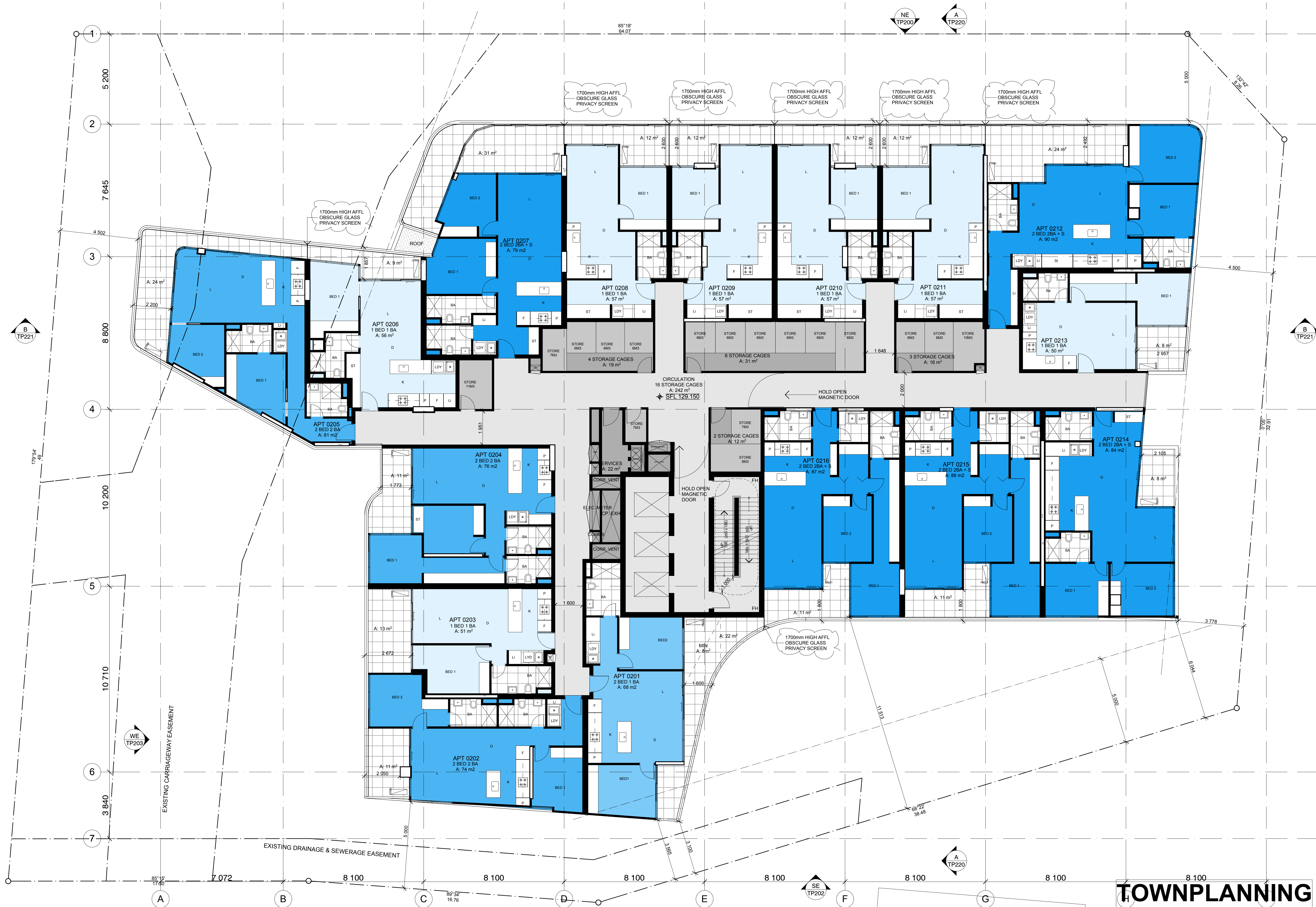
**BRABIAN INVESTMENTS Pty Ltd**

Sydney Melbourne Brisbane  
 Level 2, 448 St Kilda Road  
 Melbourne VIC 3004 Australia  
 arch@plusarchitecture.com.au  
 www.plusarchitecture.com.au  
 TELEPHONE +61 3 8686 3999  
 FACSIMILE +61 3 9662 7228  
 Plus Architecture Pty. Ltd.  
 ACN 091690336

PROJECT <b>666 Doncaster Road</b>	DRAWING TITLE <b>LEVEL 01</b>	SCALE <b>1:100</b>	
DATE <b>4/12/2015</b>	DRAWN <b>DL</b>	PLOT DATE <b>29/03/2017</b>	
JOB NO. <b>12068</b>	DRAWING NO. <b>TP101</b>	CHECKED <b>EL</b>	REVISION <b>1</b>

In accepting and utilising this document the recipient agrees that Plus Architecture Pty. Ltd. ACN 091690336, retains all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against Plus Architecture resulting from unauthorised changes, or to reuse the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. Plus Architecture makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.





# TOWNPLANNING

DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS			
Structural Engineers	<input type="checkbox"/> Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286	
Services Engineers	<input type="checkbox"/> JBA Consulting Engineers Email: jba@jba.com.au	T 3 9560 2286	
Building Surveyors	<input type="checkbox"/> Checkpoint Building Surveyors Email: gavin@checkpoint.com.au	T 3 9673 0000	
Town Planner	<input type="checkbox"/> Pro-Urban Planning Email: high.mcdonell@pro-urban.com.au	T 0403 644 026	
Traffic Engineers	<input type="checkbox"/> MGA Traffic Email: peter.mainas@mgatraffic.com.au	T 0422 249 495	

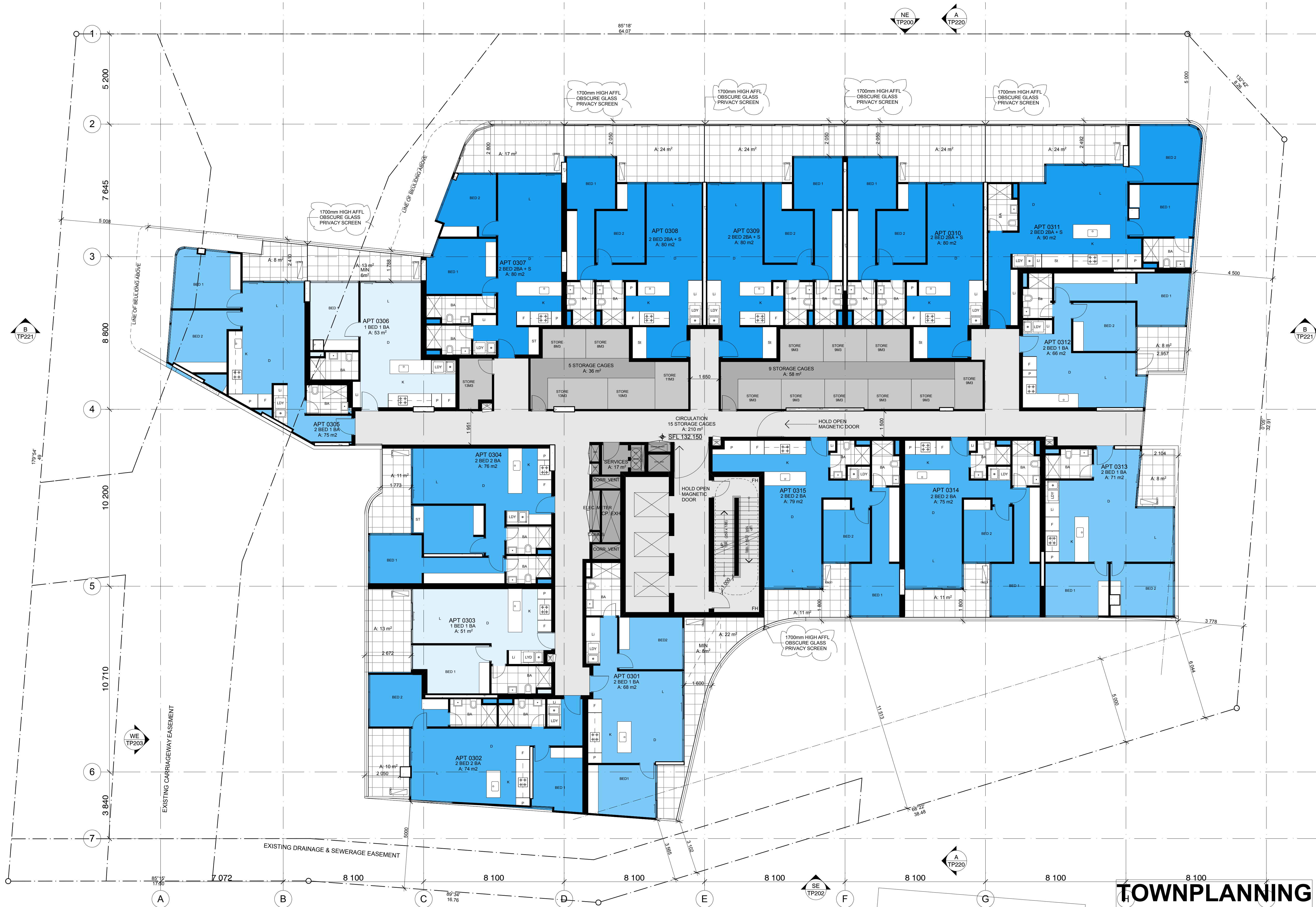
**BRABIAN INVESTMENTS Pty Ltd**



PROJECT <b>666 Doncaster Road</b>	DRAWING TITLE <b>LEVEL 02</b>
SCALE <b>1:100</b>	DATE <b>4/12/2015</b>
DRAWN <b>DL</b>	CHECKED <b>EL</b>
JOB NO. <b>12068</b>	DRAWING NO. <b>TP102</b>
	REVISION <b>1</b>

In accepting and utilizing this document the recipient agrees that Plus Architecture Pty. Ltd. ACN 091690336, retains all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against Plus Architecture resulting from unauthorised changes, or to reuse the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. Plus Architecture makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.



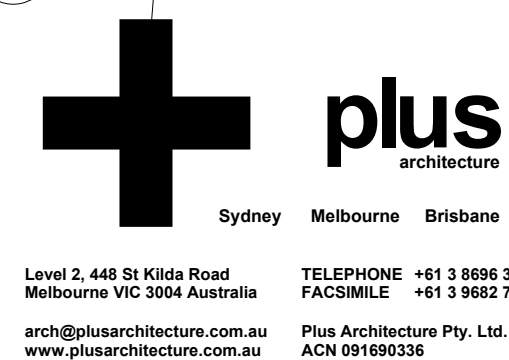


DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS			
Structural Engineers	<input type="checkbox"/> Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286	
Services Engineers	<input type="checkbox"/> JBA Consulting Engineers Email: jba@jba.com.au	T 3 9560 2286	
Building Surveyors	<input type="checkbox"/> Checkpoint Building Surveyors Email: gavin@checkpoint.com.au	T 3 9673 0000	
Town Planner	<input type="checkbox"/> Pro-Urban Planning Email: high.indonesia@pro-urban.com.au	T 0403 644 026	
Traffic Engineers	<input type="checkbox"/> MGA Traffic Email: peter.mattias@mgatraffic.com.au	T 0422 249 495	

**BRABIAN INVESTMENTS Pty Ltd**



PROJECT: 666 Doncaster Road  
DRAWING TITLE: LEVEL 03  
SCALE: 1:100  
DATE: 4/12/2015  
DRAWN: DL  
JOB NO.: 12068  
DRAWING NO.: TP103  
REVISION: 1

**TOWNPLANNING**

In accepting and utilising this document the recipient agrees that Plus Architecture Pty. Ltd. (ACN 091690336) retains all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against Plus Architecture resulting from unauthorised changes, or to release the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. Plus Architecture makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.



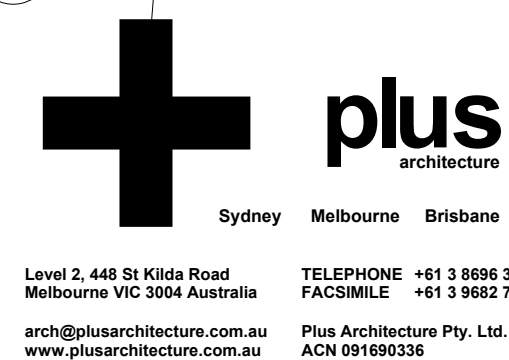


DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS			
Structural Engineers	<input type="checkbox"/> Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286	
Services Engineers	<input type="checkbox"/> JBA Consulting Engineers Email: keah.jba@jba.com.au	T 3 9560 2286	
Building Surveyors	<input type="checkbox"/> Checkpoint Building Surveyors Email: gavin@checkpoint.com.au	T 3 9673 0000	
Town Planner	<input type="checkbox"/> Pro-Urban Planning Email: high.indonesia@pro-urban.com.au	T 0403 844 026	
Traffic Engineers	<input type="checkbox"/> MGA Traffic Email: peter.maines@mgatrafice.com.au	T 0422 249 495	

**BRABIAN INVESTMENTS Pty Ltd**



PROJECT  
**666 Doncaster Road**

DRAWING TITLE  
**LEVEL 04**

# TOWNPLANNING

SCALE	DATE	DRAWN	JOB NO.	DRAWING NO.	REVISION
1:100	4/12/2015	DL	12068	TP104	1

In accepting and utilising this document the recipient agrees that Plus Architecture Pty. Ltd. ACN 091690336, retains all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against Plus Architecture resulting from unauthorised changes, or to release the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. Plus Architecture makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.



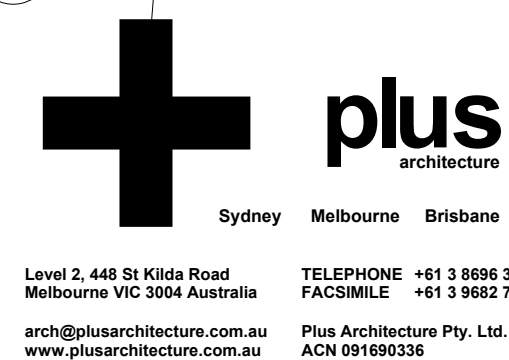


DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS			
Structural Engineers	<input type="checkbox"/>	Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286
Services Engineers	<input type="checkbox"/>	JBA Consulting Engineers Email: keah.bry@jba.com.au	T 3 9560 2286
Building Surveyors	<input type="checkbox"/>	Checkpoint Building Surveyors Email: gavin@check-point.com.au	T 3 9673 0000
Town Planner	<input type="checkbox"/>	Pro-Urban Planning Email: high.indonesia@pro-urban.com.au	T 0403 844 026
Traffic Engineers	<input type="checkbox"/>	MGA Traffic Email: peter.mainas@mgatrafico.com.au	T 0422 249 485

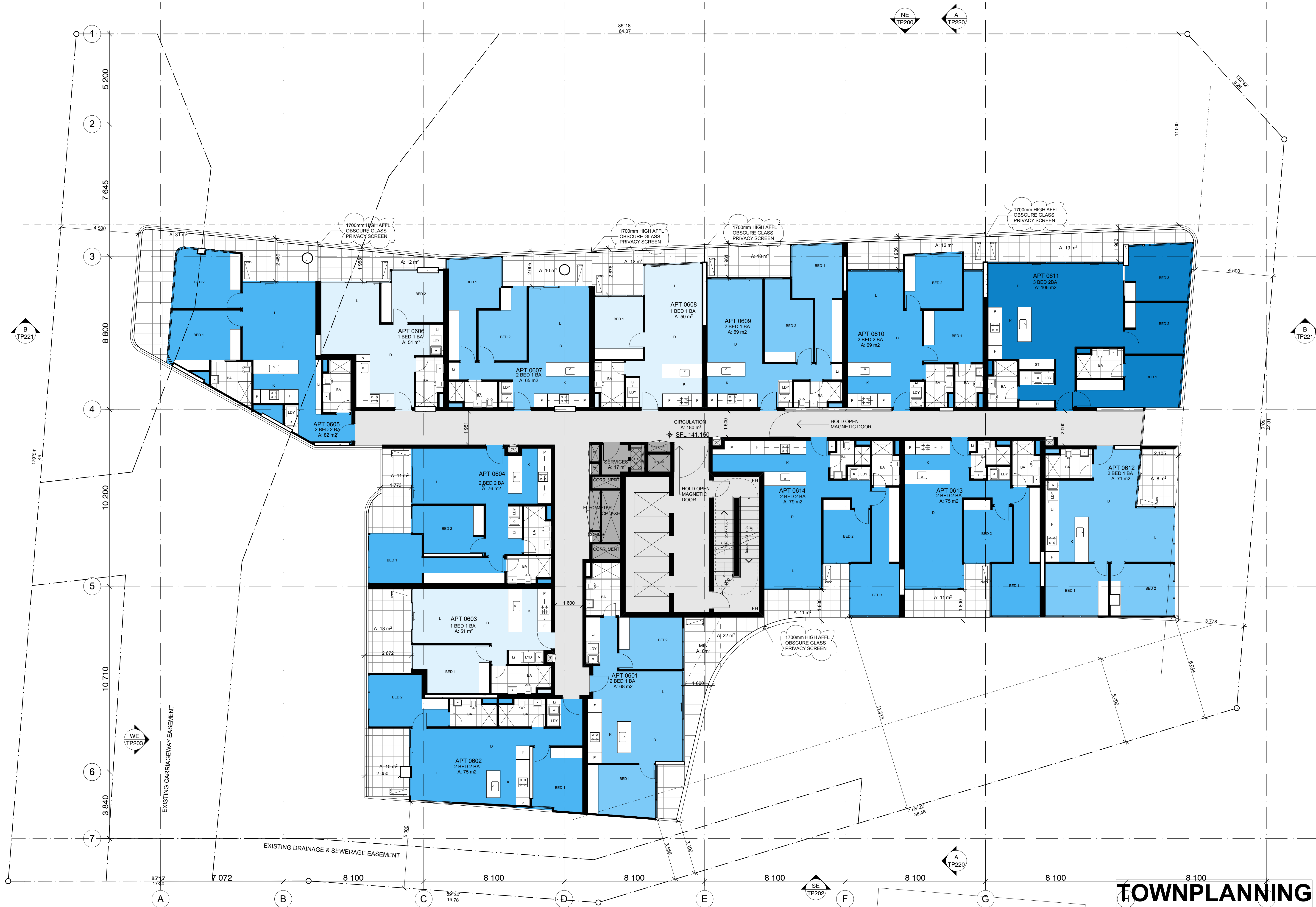
**BRABIAN INVESTMENTS Pty Ltd**



PROJECT: 666 Doncaster Road  
DRAWING TITLE: LEVEL 05  
SCALE: 1:100  
DATE: 4/12/2015  
DRAWN: DL  
JOB NO.: 12068  
DRAWING NO.: TP105  
REVISION: 1

# TOWNPLANNING

In accepting and utilising this document the recipient agrees that Plus Architecture Pty. Ltd. (ACN 091690336) retains all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against Plus Architecture resulting from unauthorised changes, or to release the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. Plus Architecture makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.



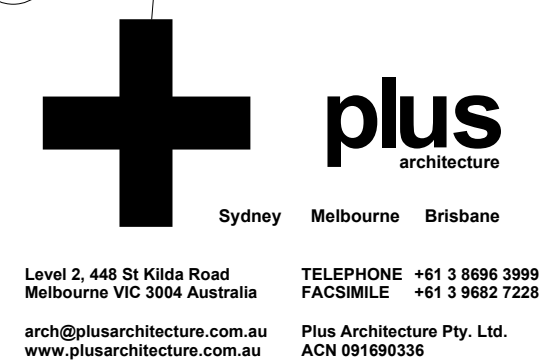
# TOWNPLANNING

DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS			
Structural Engineers	<input type="checkbox"/> Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286	
Services Engineers	<input type="checkbox"/> JBA Consulting Engineers Email: keah.bry@jba.com.au	T 3 9560 2286	
Building Surveyors	<input type="checkbox"/> Checkpoint Building Surveyors Email: gavin@checkpoint.com.au	T 3 9673 0000	
Town Planner	<input type="checkbox"/> Pro-Urban Planning Email: high.mcdonell@pro-urban.com.au	T 0403 844 026	
Traffic Engineers	<input type="checkbox"/> MGA Traffic Email: peter.mainas@mgatraffic.com.au	T 0422 249 495	

**BRABIAN INVESTMENTS Pty Ltd**

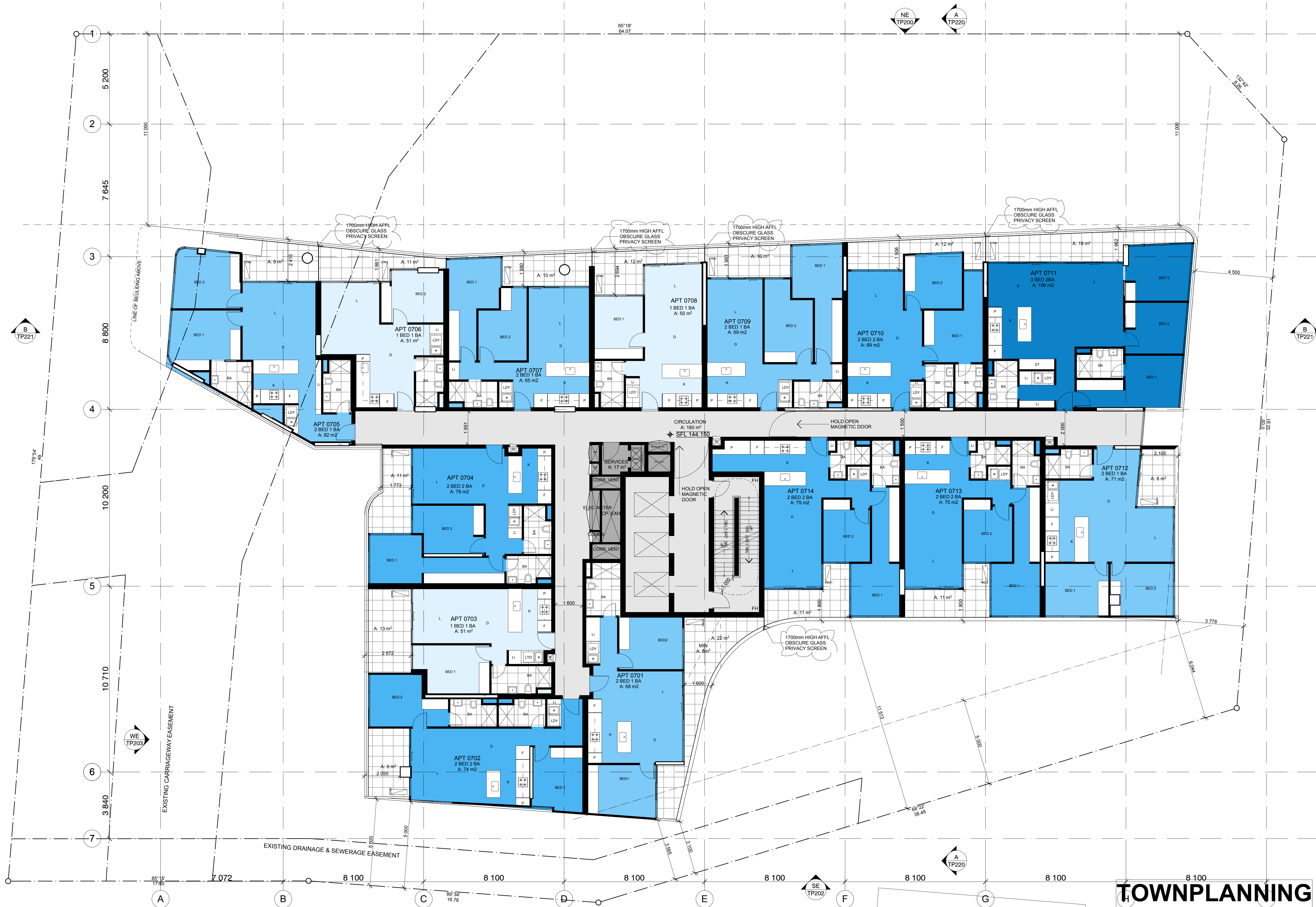


PROJECT: **666 Doncaster Road**  
DRAWING TITLE: **LEVEL 06**

SCALE	DATE	DRAWN	JOB NO.	DRAWING NO.	REVISION
1:100	4/12/2015	DL	12068	TP106	1

In accepting and utilising this document the recipient agrees that Plus Architecture Pty. Ltd. (ACN 091660336) retains all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against Plus Architecture resulting from unauthorised changes, or to release the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. Plus Architecture makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.



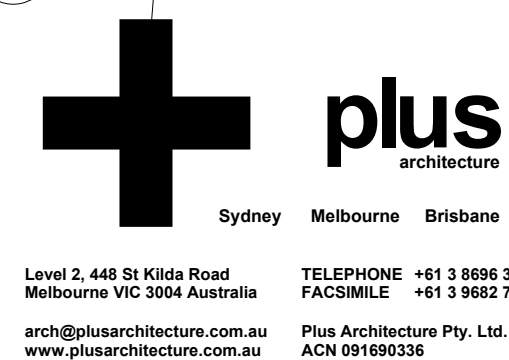


DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1

DATE	REVISION	BY	CHK	NO.

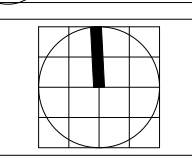
CONSULTANTS			
Structural Engineers	<input type="checkbox"/>	Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286
Services Engineers	<input type="checkbox"/>	JBA Consulting Engineers Email: keah.bryant@jba.com.au	T 3 9560 2286
Building Surveyors	<input type="checkbox"/>	Checkpoint Building Surveyors Email: gavin@check-point.com.au	T 3 9673 0000
Town Planner	<input type="checkbox"/>	Pro-Urban Planning Email: high.indonesia@pro-urban.com.au	T 0403 844 026
Traffic Engineers	<input type="checkbox"/>	MGA Traffic Email: peter.mainas@mgatrafico.com.au	T 0422 249 495

**BRABIAN INVESTMENTS Pty Ltd**



PROJECT: 666 Doncaster Road  
DRAWING TITLE: LEVEL 07  
SCALE: 1:100  
DATE: 4/12/2015  
DRAWN: DL  
JOB NO.: 12068  
DRAWING NO.: TP107  
REVISION: 1

# TOWNPLANNING



In accepting and utilising this document the recipient agrees that Plus Architecture Pty. Ltd. (ACN 091690336) retains all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against Plus Architecture resulting from unauthorised changes, or to release the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. Plus Architecture makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.



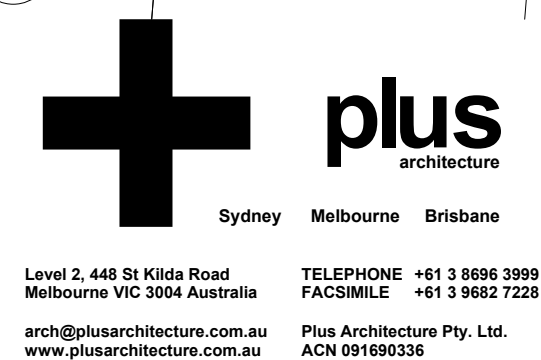


DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS			
Structural Engineers	<input type="checkbox"/>	Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286
Services Engineers	<input type="checkbox"/>	JBA Consulting Engineers Email: keah.bry@jba.com.au	T 3 9560 2286
Building Surveyors	<input type="checkbox"/>	Checkpoint Building Surveyors Email: gavin@check-point.com.au	T 3 9673 0000
Town Planner	<input type="checkbox"/>	Pro-Urban Planning Email: high.mcdonell@pro-urban.com.au	T 0403 844 026
Traffic Engineers	<input type="checkbox"/>	MGA Traffic Email: peter.mainas@mgatrafice.com.au	T 0422 249 495

**BRABIAN INVESTMENTS Pty Ltd**



PROJECT: 666 Doncaster Road  
DRAWING TITLE: LEVEL 08

# TOWNPLANNING

SCALE	DATE	DRAWN	JOB NO.	DRAWING NO.	REVISION
1:100	4/12/2015	DL	12068	TP108	1

In accepting and utilising this document the recipient agrees that Plus Architecture Pty. Ltd. (ACN 091660336) retains all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against Plus Architecture resulting from unauthorised changes, or to release the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. Plus Architecture makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

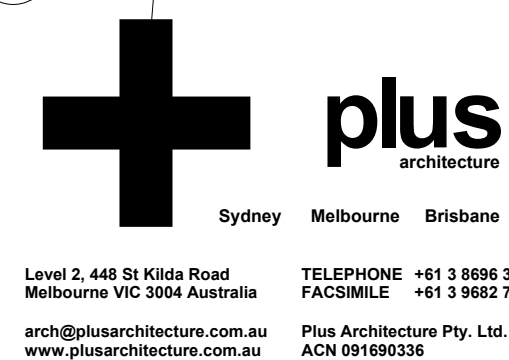


DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS			
Structural Engineers	<input type="checkbox"/>	Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286
Services Engineers	<input type="checkbox"/>	JBA Consulting Engineers Email: keah.jba@jba.com.au	T 3 9560 2286
Building Surveyors	<input type="checkbox"/>	Checkpoint Building Surveyors Email: gavin@check-point.com.au	T 3 9673 0000
Town Planner	<input type="checkbox"/>	Pro-Urban Planning Email: high.mcdonagh@pro-urban.com.au	T 0403 644 026
Traffic Engineers	<input type="checkbox"/>	MGA Traffic Email: peter.mainas@mgatrafice.com.au	T 0422 249 495

**BRABIAN INVESTMENTS Pty Ltd**

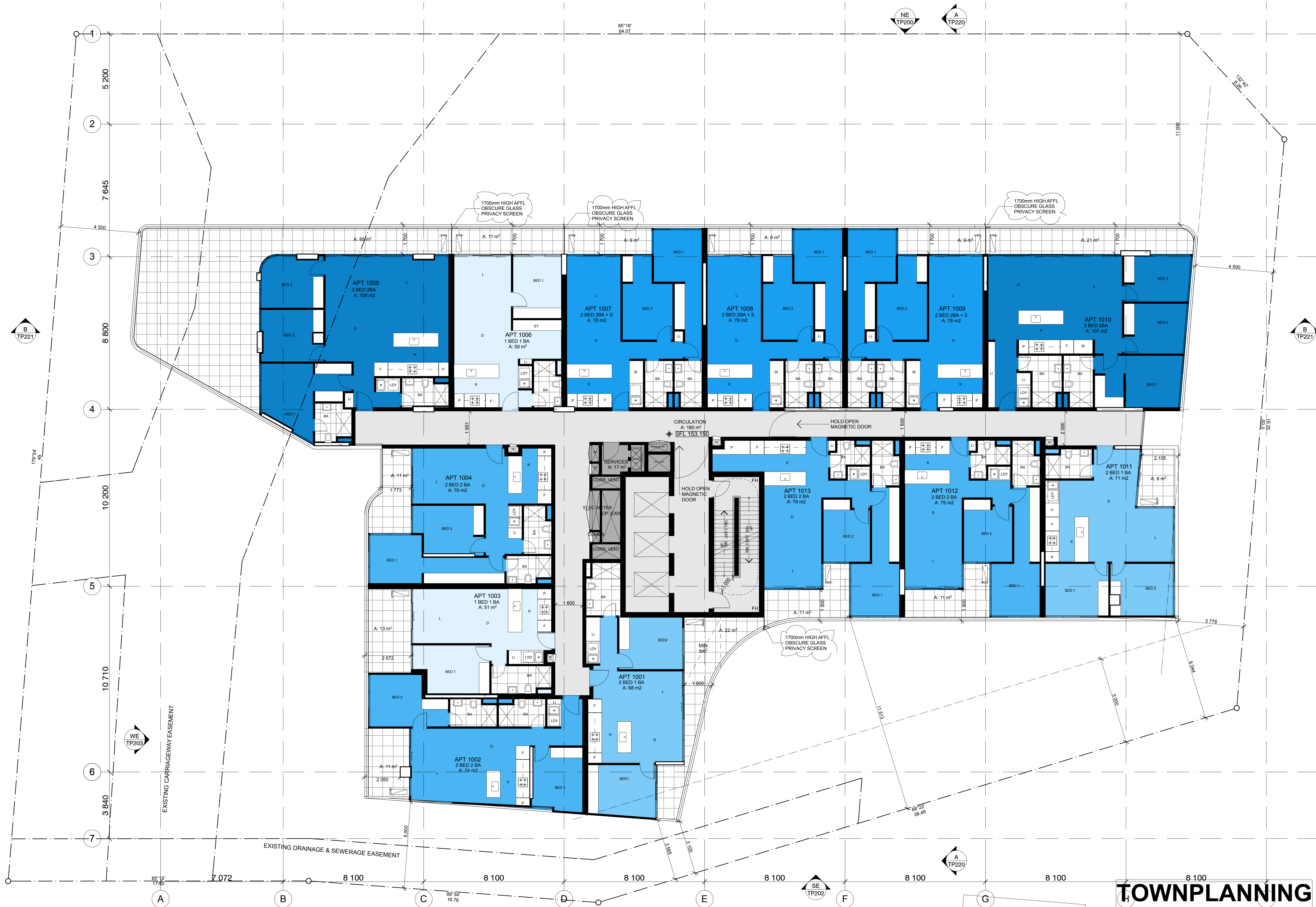


PROJECT <b>666 Doncaster Road</b>	DRAWING TITLE <b>LEVEL 09</b>
SCALE <b>1:100</b>	DATE <b>4/12/2015</b>
DRAWN <b>DL</b>	CHECKED <b>EL</b>
JOB NO. <b>12068</b>	DRAWING NO. <b>TP109</b>
	REVISION <b>1</b>

# TOWNPLANNING

In accepting and utilising this document the recipient agrees that Plus Architecture Pty. Ltd. ACN 091690336, retains all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against Plus Architecture resulting from unauthorised changes, or to release the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. Plus Architecture makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.





# TOWNPLANNING

DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS			
Structural Engineers	<input type="checkbox"/> Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286	
Services Engineers	<input type="checkbox"/> JBA Consulting Engineers Email: jba@jba.com.au	T 3 9560 2286	
Building Surveyors	<input type="checkbox"/> Checkpoint Building Surveyors Email: gavin@checkpoint.com.au	T 3 9673 0000	
Town Planner	<input type="checkbox"/> Pro-Urban Planning Email: high.mcdonagh@pro-urban.com.au	T 0403 644 026	
Traffic Engineers	<input type="checkbox"/> MGA Traffic Email: peter.mainas@mgatraffic.com.au	T 0422 249 485	

**BRABIAN INVESTMENTS Pty Ltd**

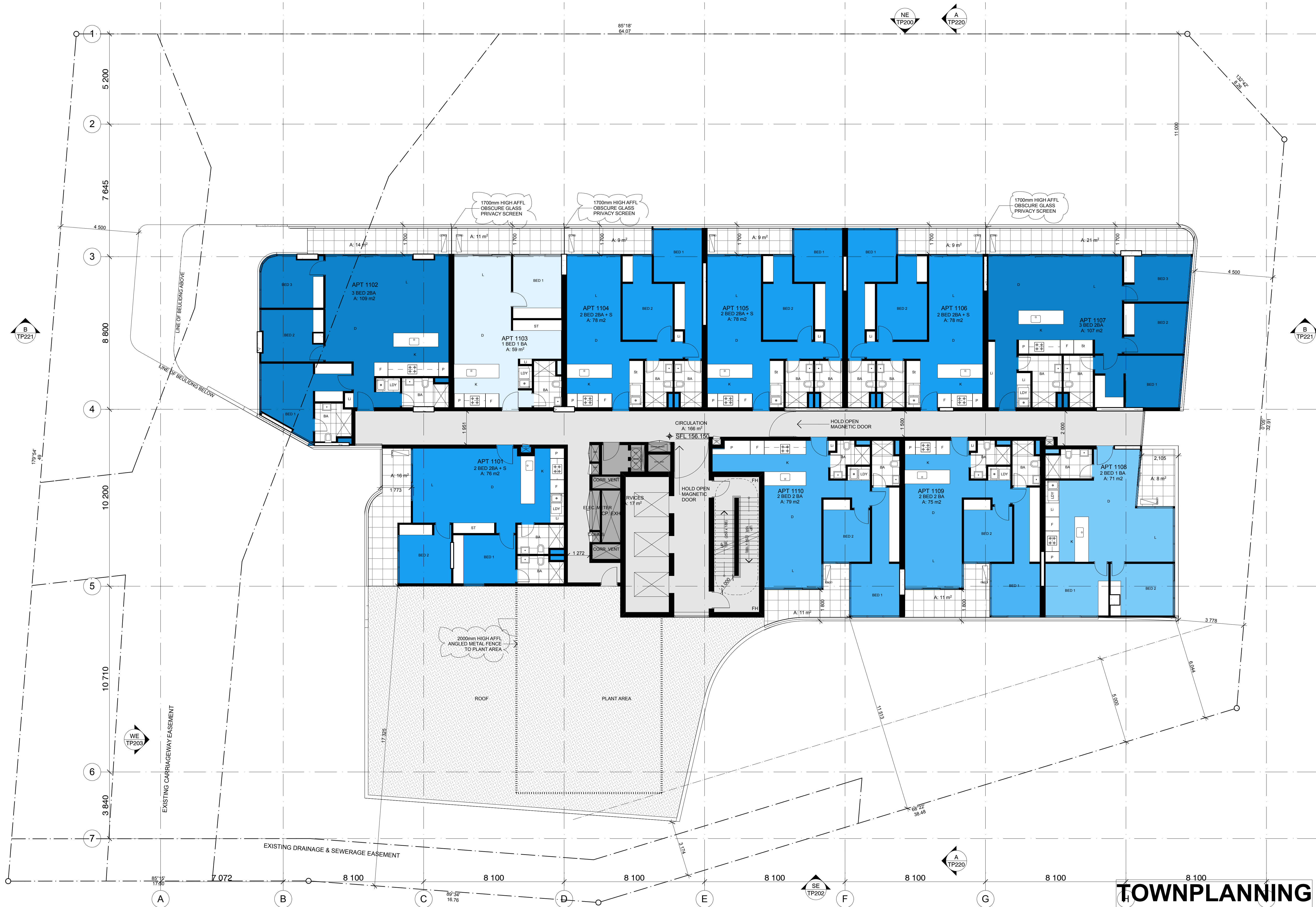


PROJECT **666 Doncaster Road**  
DRAWING TITLE **LEVEL 10**

SCALE	DATE	DRAWN	JOB NO.	DRAWING NO.	REVISION
1:100	4/12/2015	DL	12068	TP110	1

In accepting and utilising this document the recipient agrees that Plus Architecture Pty. Ltd. (ACN 091660336) retains all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against Plus Architecture resulting from unauthorised changes, or to release the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. Plus Architecture makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.





DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS				
Structural Engineers	<input type="checkbox"/>	Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286	
Services Engineers	<input type="checkbox"/>	ZBA Consulting Engineers Email: keah.zba@zba.com.au	T 3 9560 2286	
Building Surveyors	<input type="checkbox"/>	Checkpoint Building Surveyors Email: gavin@checkpoint.com.au	T 3 9673 0000	
Town Planner	<input type="checkbox"/>	Pro-Urban Planning Email: high.indonesia@pro-urban.com.au	T 0403 844 026	
Traffic Engineers	<input type="checkbox"/>	MGA Traffic Email: peter.maitias@mgatraffic.com.au	T 0422 249 485	

**BRABIAN INVESTMENTS Pty Ltd**



PROJECT  
**666 Doncaster Road**

DRAWING TITLE  
**LEVEL 11**

SCALE	DATE	DRAWN	JOB NO.	DRAWING NO.	REVISION
1:100	4/12/2015	DL	12068	TP111	1

# TOWNPLANNING





DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS				
Structural Engineers	<input type="checkbox"/>	Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286	
Services Engineers	<input type="checkbox"/>	ZBA Consulting Engineers Email: keah.bry@zba.com.au	T 3 9560 2286	
Building Surveyors	<input type="checkbox"/>	Checkpoint Building Surveyors Email: gavin@check-point.com.au	T 3 9673 0000	
Town Planner	<input type="checkbox"/>	Pro-Urban Planning Email: high.indonesia@pro-urban.com.au	T 0403 644 026	
Traffic Engineers	<input type="checkbox"/>	MGA Traffic Email: peter.mains@mgatrafico.com.au	T 0422 249 485	

**BRABIAN INVESTMENTS Pty Ltd**

**plus** architecture  
Sydney Melbourne Brisbane  
Level 2, 448 St Kilda Road  
Melbourne VIC 3004 Australia  
arch@plusarchitecture.com.au  
www.plusarchitecture.com.au

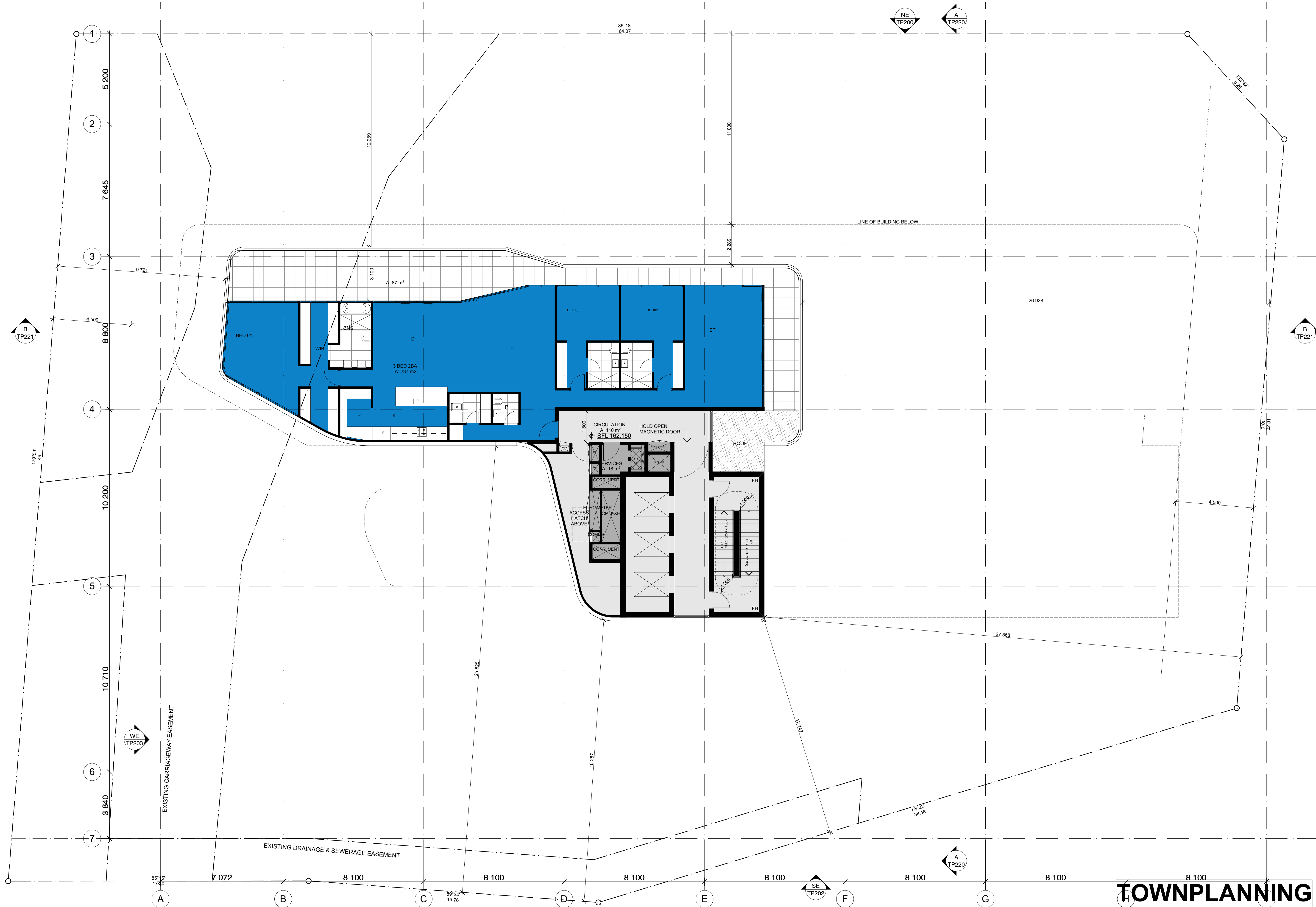
TELEPHONE +61 3 8686 3999  
FACSIMILE +61 3 9662 7228  
Plus Architecture Pty. Ltd.  
ACN 091690336

PROJECT **666 Doncaster Road**  
DRAWING TITLE **LEVEL 12**

SCALE **1:100**  
DATE **4/12/2015**  
DRAWN **DL**  
JOB NO. **12068**

**TOWNPLANNING**

CHECKED **EL**  
DRAWING NO. **TP112**  
REVISION **1**



DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS			
Structural Engineers	<input type="checkbox"/> Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286	
Services Engineers	<input type="checkbox"/> JBA Consulting Engineers Email: keah.bryce@jba.com.au	T 3 9560 2286	
Building Surveyors	<input type="checkbox"/> Checkpoint Building Surveyors Email: gavin@checkpoint.com.au	T 3 9673 0000	
Town Planner	<input type="checkbox"/> Pro-Urban Planning Email: high.indonesia@pro-urban.com.au	T 0403 844 026	
Traffic Engineers	<input type="checkbox"/> MGA Traffic Email: peter.mainas@mgatrafico.com.au	T 0422 249 485	

**BRABIAN INVESTMENTS Pty Ltd**



PROJECT  
**666 Doncaster Road**

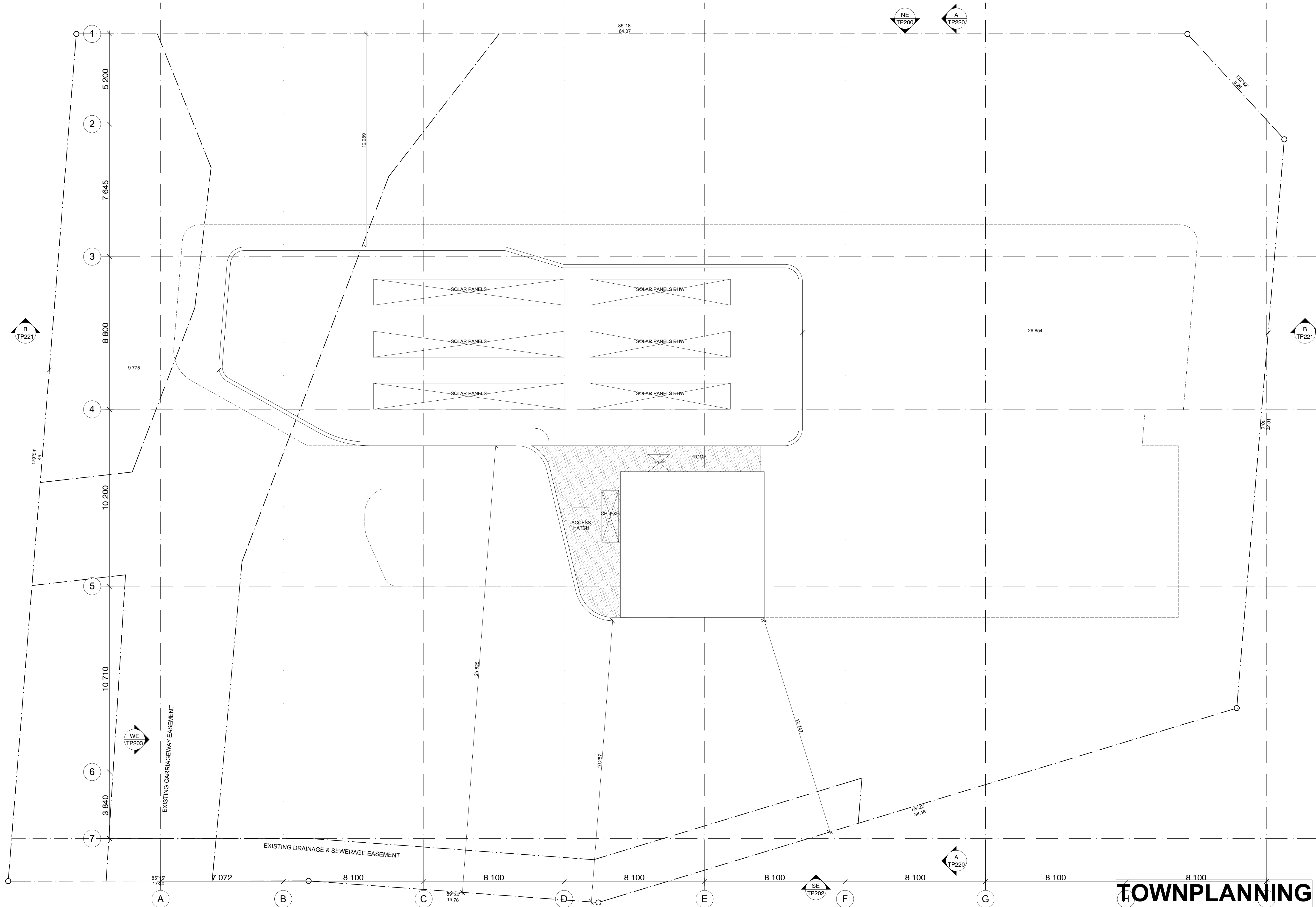
DRAWING TITLE  
**LEVEL 13**

SCALE	DATE	DRAWN	JOB NO.	DRAWING NO.	REVISION
1:100	4/12/2015	DL	12068	TP113	1

In accepting and utilising this document the recipient agrees that Plus Architecture Pty. Ltd. ACN 091690336, retains all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against Plus Architecture resulting from unauthorised changes, or to release the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. Plus Architecture makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

**TOWNPLANNING**





DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS				
Structural Engineers	<input type="checkbox"/>	Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286	
Services Engineers	<input type="checkbox"/>	JBA Consulting Engineers Email: keah.bryce@jba.com.au	T 3 9560 2286	
Building Surveyors	<input type="checkbox"/>	Checkpoint Building Surveyors Email: gavin@check-point.com.au	T 3 9673 0000	
Town Planner	<input type="checkbox"/>	Pro-Urban Planning Email: high.mcdonell@pro-urban.com.au	T 0403 844 026	
Traffic Engineers	<input type="checkbox"/>	MGA Traffic Email: peter.mainas@mgatrafico.com.au	T 0422 249 485	

**BRABIAN INVESTMENTS Pty Ltd**



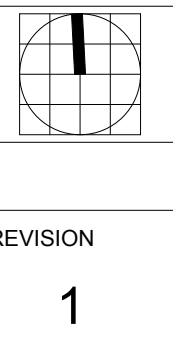
PROJECT  
**666 Doncaster Road**

DRAWING TITLE  
**ROOF**

SCALE  
**1:100**

DATE  
**4/12/2015**

PLOT DATE  
**29/03/2017**



DRAWN  
**DL**

CHECKED  
**EL**

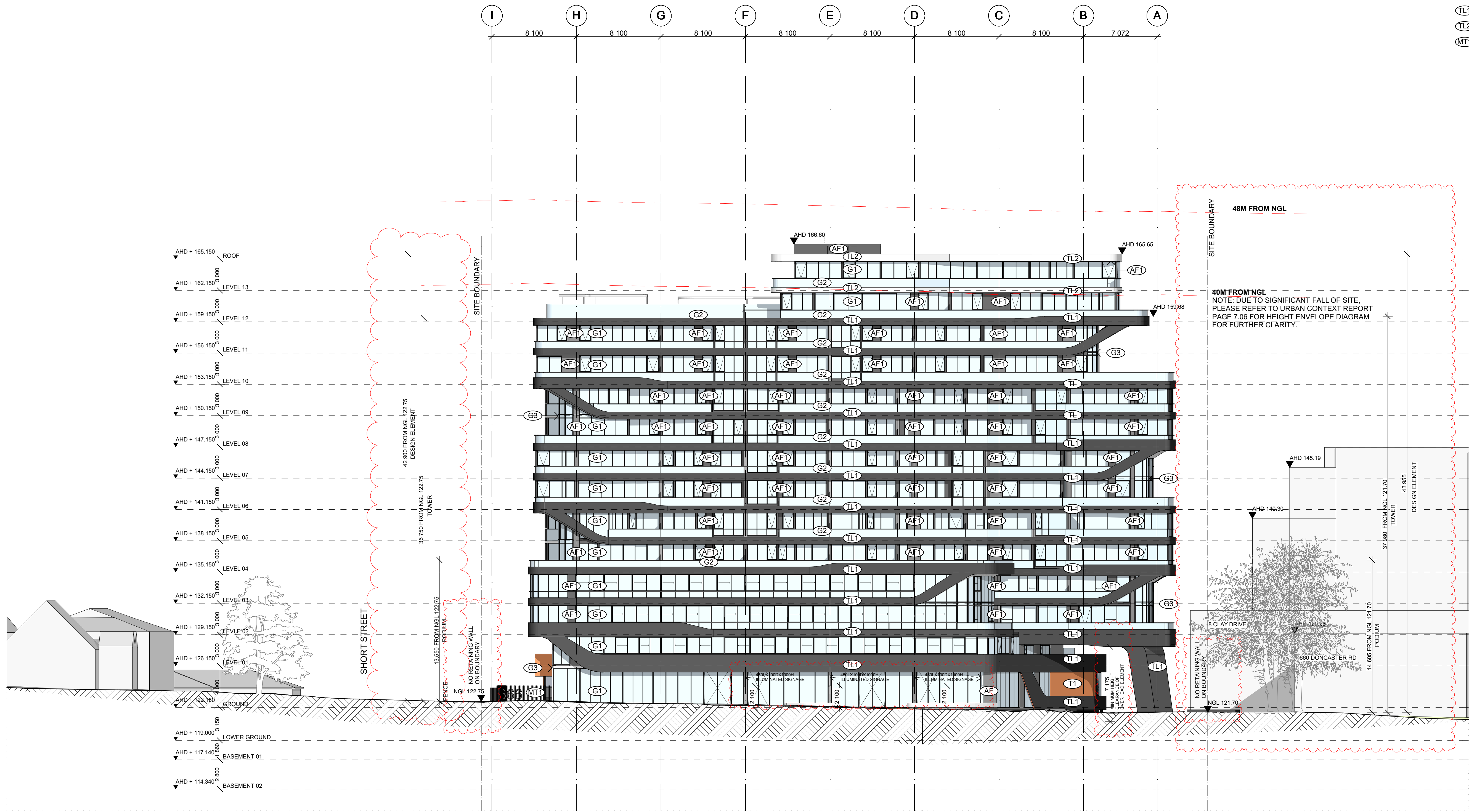
REVISION  
**1**

# TOWNPLANNING

In accepting and utilising this document the recipient agrees that Plus Architecture Pty. Ltd. ACN 091690336, retains all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against Plus Architecture resulting from unauthorised changes, or to release the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. Plus Architecture makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

**LEGEND**

- (AF1) APPLIED FINISH TYPE 1
- (AF2) APPLIED FINISH TYPE 2
- (G1) GLAZING TYPE 1
- (G2) GLAZING TYPE 2 - BALCONY
- (G3) GLAZING TYPE 3 - SPANDREL
- (G4) GLAZING TYPE 4 - PRIVACY SCREEN
- (T1) TIMBER HORIZONTAL CLADDING TYPE 1
- (T2) TIMBER CLADDING TYPE 2 (SOFFITS)
- (TL1) TILE CLADDING TYPE 1 - DARK
- (TL2) TILE CLADDING TYPE 2 - LIGHT
- (MT1) METAL SCREEN TYPE 1



**TOWNPLANNING**

DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS			
Structural Engineers	<input type="checkbox"/> Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286	
Services Engineers	<input type="checkbox"/> JBA Consulting Engineers Email: keah.bry@jba.com.au	T 3 9560 2286	
Building Surveyors	<input type="checkbox"/> Checkpoint Building Surveyors Email: gavin@checkpoint.com.au	T 3 9673 0000	
Town Planner	<input type="checkbox"/> Pro-Urban Planning Email: high.mckenna@pro-urban.com.au	T 0423 844 026	
Traffic Engineers	<input type="checkbox"/> MGA Traffic Email: peter.mainas@mgatrafice.com.au	T 0422 249 485	

**BRABIAN INVESTMENTS Pty Ltd**

**plus** architecture  
Sydney Melbourne Brisbane  
Level 2, 448 St Kilda Road  
Melbourne VIC 3004 Australia  
arch@plusarchitecture.com.au  
www.plusarchitecture.com.au

TELEPHONE +61 3 8698 3999  
FACSIMILE +61 3 9682 7228  
Plus Architecture Pty. Ltd.  
ACN 091690336

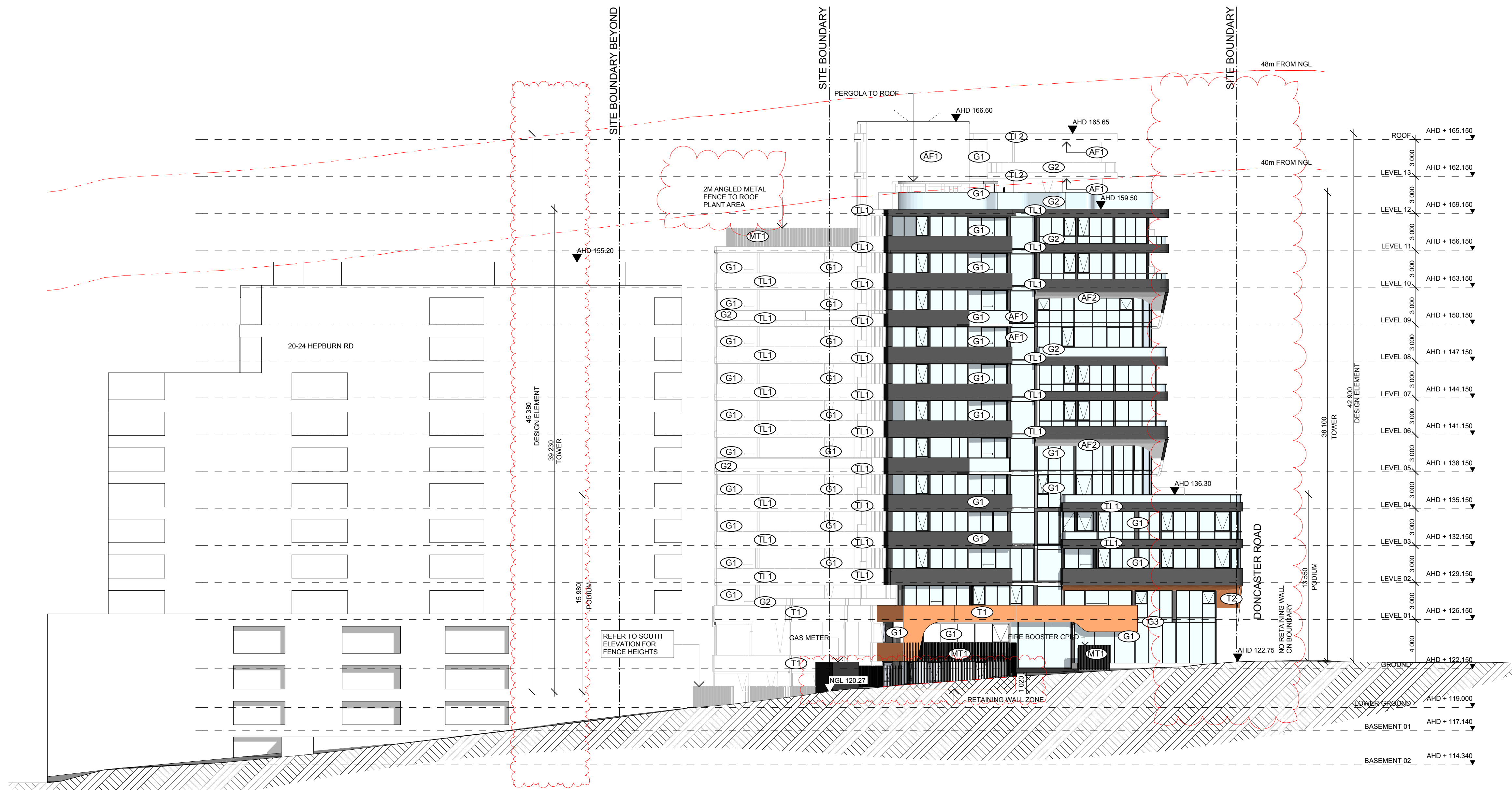
PROJECT <b>666 Doncaster Road</b>	DRAWING TITLE <b>NORTH ELEVATION</b>	SCALE <b>1:200</b>	
DATE <b>4/12/2015</b>	DRAWN <b>DL</b>	PLOT DATE <b>29/03/2017</b>	
DRAWN NO. <b>12068</b>	DRAWING NO. <b>TP200</b>	CHECKED <b>EL</b>	REVISION <b>1</b>

In accepting and utilising this document the recipient agrees that Plus Architecture Pty. Ltd. ACN 091690336, retains all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against Plus Architecture resulting from unauthorised changes, or to release the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. Plus Architecture makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.



**LEGEND**

- (AF1) APPLIED FINISH TYPE 1
- (AF2) APPLIED FINISH TYPE 2
- (G1) GLAZING TYPE 1
- (G2) GLAZING TYPE 2 - BALCONY
- (G3) GLAZING TYPE 3 - SPANDREL
- (G4) GLAZING TYPE 4 - PRIVACY SCREEN
- (T1) TIMBER HORIZONTAL CLADDING TYPE 1
- (T2) TIMBER CLADDING TYPE 2 (SOFFITS)
- (TL1) TILE CLADDING TYPE 1 - DARK
- (TL2) TILE CLADDING TYPE 2 - LIGHT
- (MT1) METAL SCREEN TYPE 1



DATE	REVISION	BY	CHK	NO.	DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1					

CONSULTANTS			
Structural Engineers	<input type="checkbox"/>	Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286
Services Engineers	<input type="checkbox"/>	JBA Consulting Engineers Email: keah.bry@jba.com.au	T 3 9560 2286
Building Surveyors	<input type="checkbox"/>	Checkpoint Building Surveyors Email: gavin@check-point.com.au	T 3 9673 0000
Town Planner	<input type="checkbox"/>	Pro-Urban Planning Email: high.mckenzie@pro-urban.com.au	T 0403 844 026
Traffic Engineers	<input type="checkbox"/>	MGA Traffic Email: peter.mattinas@mgatraffic.com.au	T 0422 249 495

**BRABIAN INVESTMENTS Pty Ltd**

**plus** architecture  
Sydney Melbourne Brisbane  
Level 2, 448 St Kilda Road  
Melbourne VIC 3004 Australia  
arch@plusarchitecture.com.au  
www.plusarchitecture.com.au

TELEPHONE +61 3 8868 3999  
FACSIMILE +61 3 9682 7228  
Plus Architecture Pty. Ltd.  
ACN 091690336

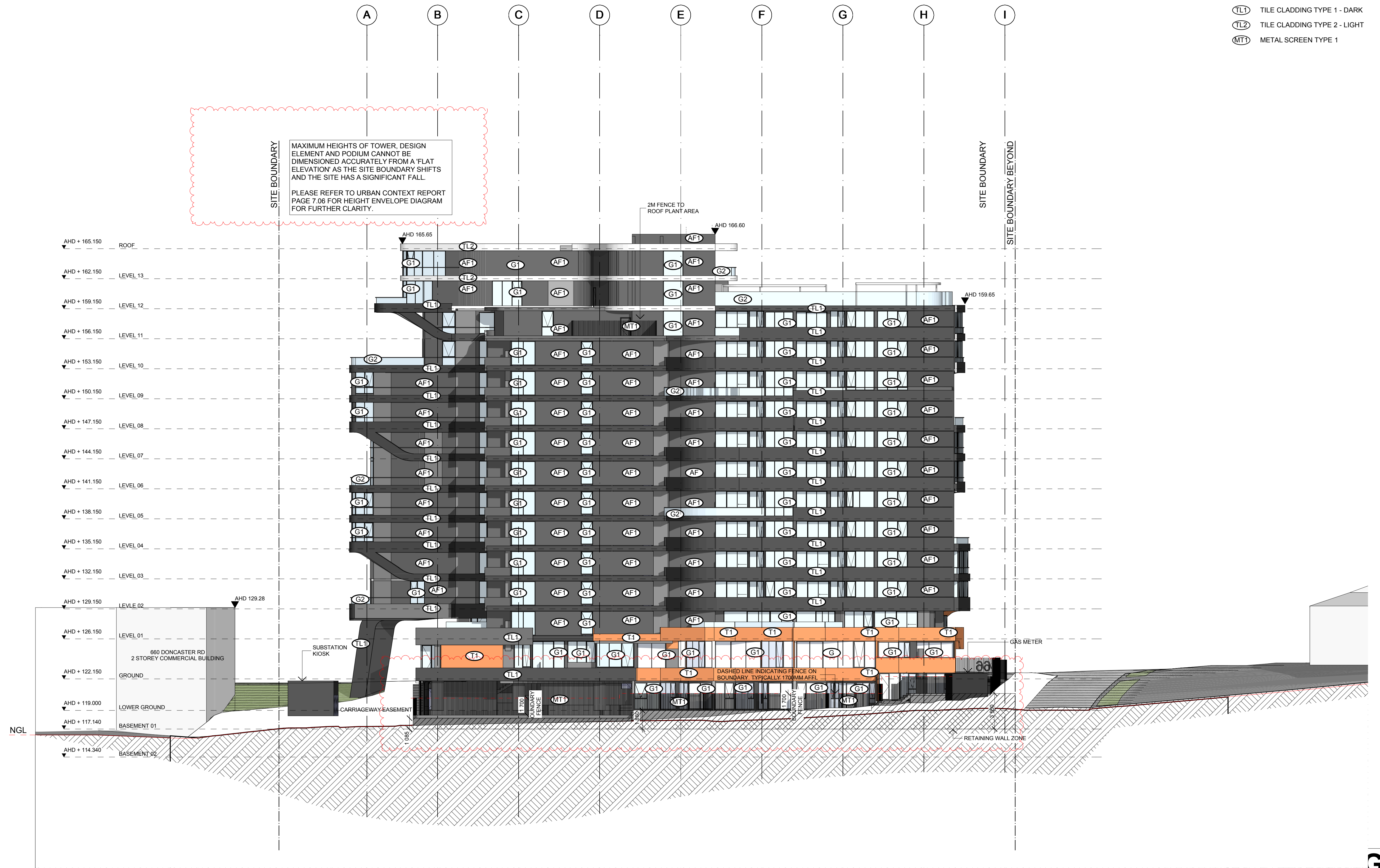
**TOWNPLANNING**

PROJECT <b>666 Doncaster Road</b>	DRAWING TITLE <b>EAST ELEVATION</b>	SCALE <b>1:200</b>	
DATE <b>4/12/2015</b>	PLOT DATE <b>29/03/2017</b>	DRAWN <b>DL</b>	
DRAWN NO. <b>12068</b>	DRAWING NO. <b>TP201</b>	CHECKED <b>EL</b>	REVISION <b>1</b>

In accepting and utilising this document the recipient agrees that Plus Architecture Pty. Ltd. ACN 091690336, retains all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against Plus Architecture resulting from unauthorised changes, or to release the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. Plus Architecture makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

**LEGEND**

- (AF1) APPLIED FINISH TYPE 1
- (AF2) APPLIED FINISH TYPE 2
- (G1) GLAZING TYPE 1
- (G2) GLAZING TYPE 2 - BALCONY
- (G3) GLAZING TYPE 3 - SPANDREL
- (G4) GLAZING TYPE 4 - PRIVACY SCREEN
- (T1) TIMBER HORIZONTAL CLADDING TYPE 1
- (T2) TIMBER CLADDING TYPE 2 (SOFFITS)
- (TL1) TILE CLADDING TYPE 1 - DARK
- (TL2) TILE CLADDING TYPE 2 - LIGHT
- (MT1) METAL SCREEN TYPE 1



DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS			
Structural Engineers	<input type="checkbox"/> Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286	
Services Engineers	<input type="checkbox"/> JBA Consulting Engineers Email: keah.bry@jba.com.au	T 3 9560 2286	
Building Surveyors	<input type="checkbox"/> Checkpoint Building Surveyors Email: gavin@check-point.com.au	T 3 9673 0000	
Town Planner	<input type="checkbox"/> Pro-Urban Planning Email: high.mcdonell@pro-urban.com.au	T 0403 844 026	
Traffic Engineers	<input type="checkbox"/> MGA Traffic Email: peter.mattias@mgatraffic.com.au	T 0422 249 495	

**BRABIAN INVESTMENTS Pty Ltd**

Sydney Melbourne Brisbane  
Level 2, 448 St Kilda Road  
Melbourne VIC 3004 Australia  
arch@plusarchitecture.com.au  
www.plusarchitecture.com.au

TELEPHONE +61 3 8686 3999  
FACSIMILE +61 3 9682 7228  
Plus Architecture Pty. Ltd.  
ACN 091690336

PROJECT <b>666 Doncaster Road</b>	DRAWING TITLE <b>SOUTH ELEVATION</b>	SCALE <b>1:200</b>	
DATE <b>4/12/2015</b>	PLOT DATE <b>29/03/2017</b>	DRAWN <b>DL</b>	
DRAWN NO. <b>12068</b>	DRAWING NO. <b>TP202</b>	CHECKED <b>EL</b>	REVISION <b>1</b>

**TOWN PLANNING**



LEGEND

- (AF1) APPLIED FINISH TYPE 1
- (AF2) APPLIED FINISH TYPE 2
- (G1) GLAZING TYPE 1
- (G2) GLAZING TYPE 2 - BALCONY
- (G3) GLAZING TYPE 3 - SPANDREL
- (G4) GLAZING TYPE 4 - PRIVACY SCREEN
- (T1) TIMBER HORIZONTAL CLADDING TYPE 1
- (T2) TIMBER CLADDING TYPE 2 (SOFFITS)
- (TL1) TILE CLADDING TYPE 1 - DARK
- (TL2) TILE CLADDING TYPE 2 - LIGHT
- (MT1) METAL SCREEN TYPE 1



TOWNPLANNING

DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS				
Structural Engineers	<input type="checkbox"/>	Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286	
Services Engineers	<input type="checkbox"/>	JBA Consulting Engineers Email: keah.bry@jba.com.au	T 3 9560 2286	
Building Surveyors	<input type="checkbox"/>	Checkpoint Building Surveyors Email: gavin@checkpoint.com.au	T 3 9673 0000	
Town Planner	<input type="checkbox"/>	Pro-Urban Planning Email: high.indonesia@pro-urban.com.au	T 0403 844 026	
Traffic Engineers	<input type="checkbox"/>	MGA Traffic Email: peter.mattias@mgatraffic.com.au	T 0422 249 495	

**BRABIAN INVESTMENTS Pty Ltd**



PROJECT  
**666 Doncaster Road**

DRAWING TITLE  
**WEST ELEVATION**

SCALE 1:200	
DATE 4/12/2015	PLOT DATE 29/03/2017
DRAWN DL	CHECKED EL
JOB NO. <b>12068</b>	DRAWING NO. <b>TP203</b>
	REVISION 1

In accepting and utilising this document the recipient agrees that Plus Architecture Pty. Ltd. ACN 091690336, retains all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against Plus Architecture resulting from unauthorised changes, or to release the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. Plus Architecture makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.



# TOWNPLANNING

DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1

DATE	REVISION	BY	CHK	NO.

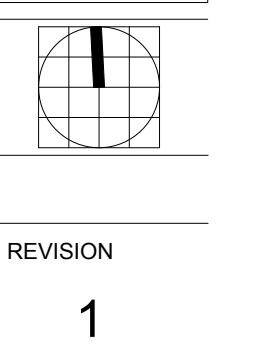
CONSULTANTS			
Structural Engineers	<input type="checkbox"/> Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286	
Services Engineers	<input type="checkbox"/> JBA Consulting Engineers Email: keah.bry@jba.com.au	T 3 9560 2286	
Building Surveyors	<input type="checkbox"/> Checkpoint Building Surveyors Email: gavin@check-point.com.au	T 3 9673 0000	
Town Planner	<input type="checkbox"/> Pro-Urban Planning Email: high.mcdonnes@pro-urban.com.au	T 0403 844 026	
Traffic Engineers	<input type="checkbox"/> MGA Traffic Email: peter.mainas@mgatrafice.com.au	T 0422 249 495	

**BRABIAN INVESTMENTS Pty Ltd**

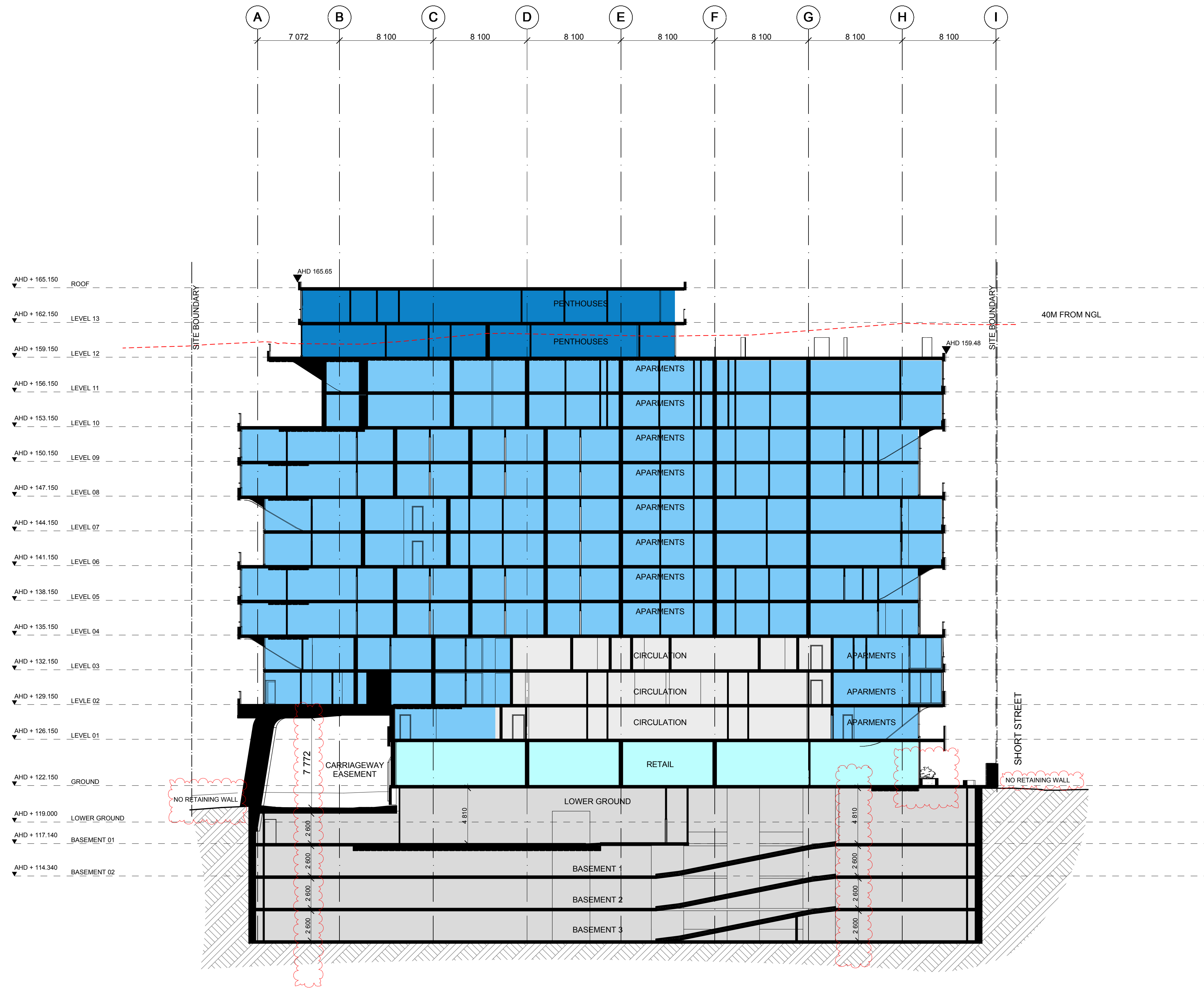


PROJECT <b>666 Doncaster Road</b>	DRAWING TITLE <b>SECTION A</b>
SCALE <b>1:200</b>	DATE <b>4/12/2015</b>
DRAWN <b>DL</b>	CHECKED <b>EL</b>
JOB NO. <b>12068</b>	DRAWING NO. <b>TP220</b>
	REVISION <b>1</b>

In accepting and utilising this document the recipient agrees that Plus Architecture Pty. Ltd. ACN 091690336, retains all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Plus Architecture resulting from unauthorised changes, or to reuse the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. Plus Architecture makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.







# TOWNPLANNING

DATE	REVISION	BY	CHK	NO.
29.03.17	RESPONSE TO COUNCIL RFIS		EL	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS			
Structural Engineers	<input type="checkbox"/>	Nadar Consulting Engineers Email: nadar@nadarconsultingengineers.com.au	T 3 9560 2286
Services Engineers	<input type="checkbox"/>	JBA Consulting Engineers Email: keah.bryce@jba.com.au	T 3 9560 2286
Building Surveyors	<input type="checkbox"/>	Checkpoint Building Surveyors Email: gavin@check-point.com.au	T 3 9673 0000
Town Planner	<input type="checkbox"/>	Pro-Urban Planning Email: high.mckenzie@pro-urban.com.au	T 0403 844 026
Traffic Engineers	<input type="checkbox"/>	MGA Traffic Email: peter.mainas@mgatraffic.com.au	T 0422 249 485

**BRABIAN INVESTMENTS Pty Ltd**



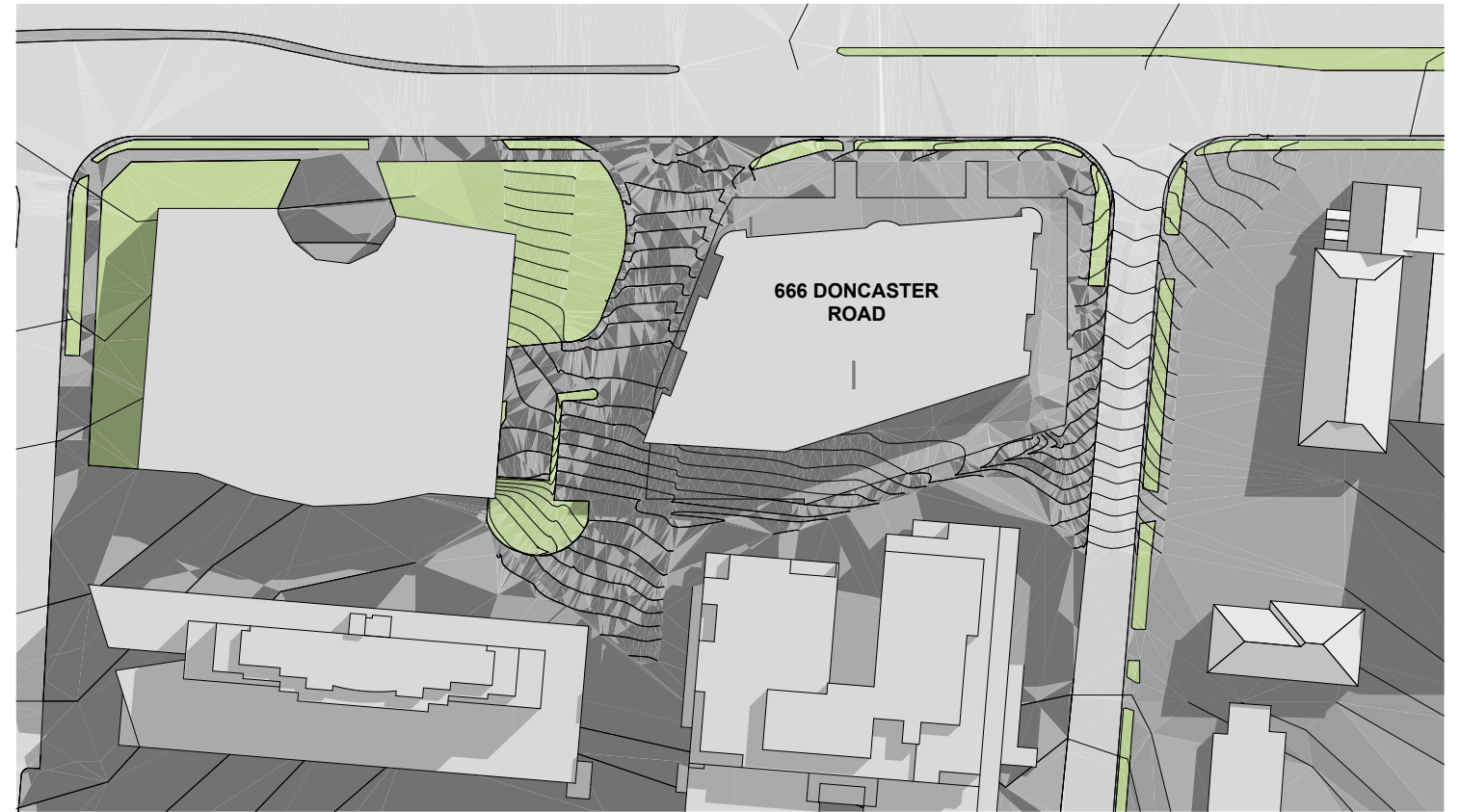
PROJECT <b>666 Doncaster Road</b>	DRAWING TITLE <b>SECTION B</b>
--------------------------------------	-----------------------------------

SCALE <b>1:200</b>	PLOT DATE <b>29/03/2017</b>	
DATE <b>4/12/2015</b>	CHECKED <b>EL</b>	
DRAWN <b>DL</b>	JOB NO. <b>12068</b>	REVISION <b>1</b>
	DRAWING NO. <b>TP221</b>	

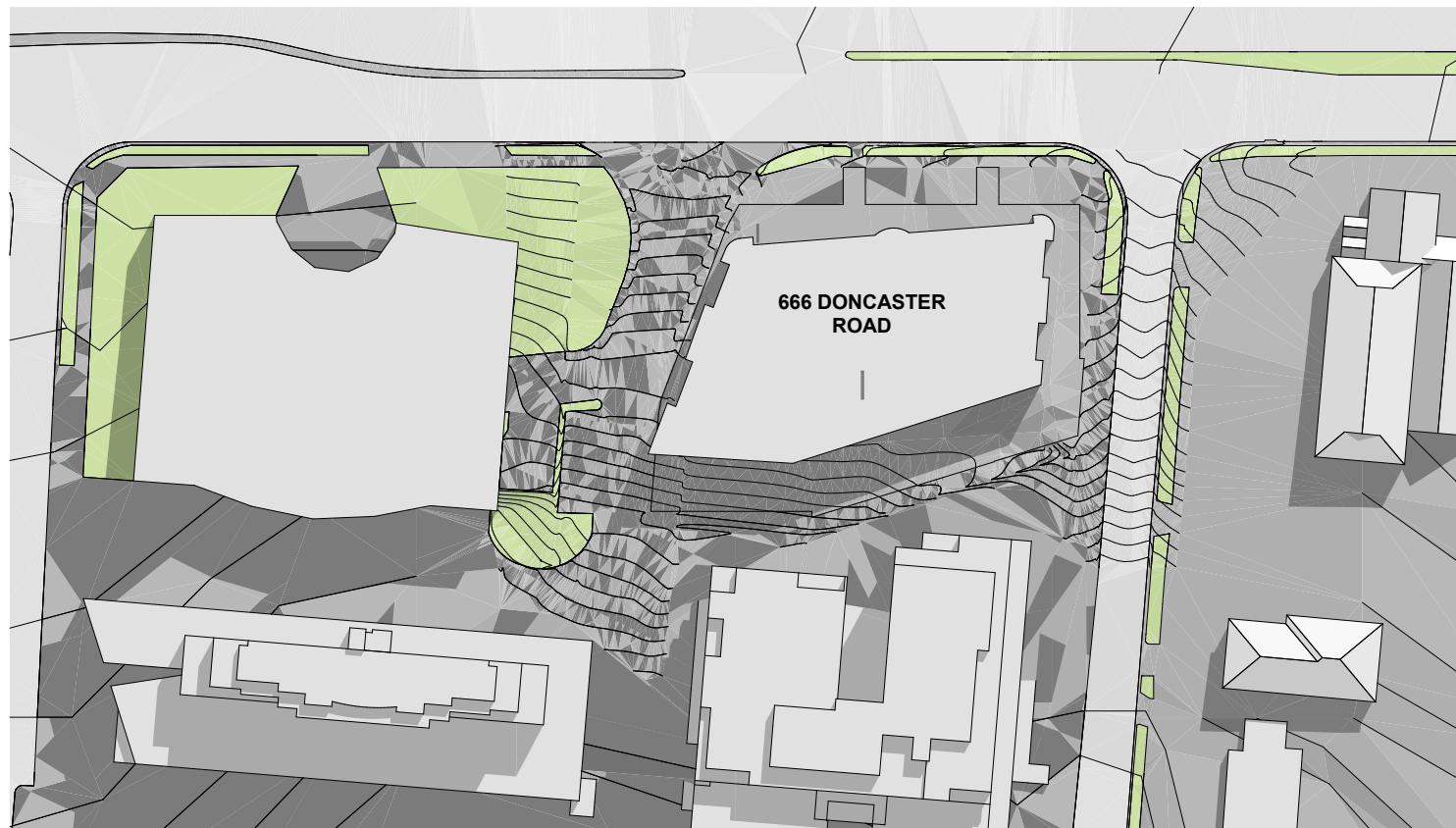
In accepting and utilising this document the recipient agrees that Plus Architecture Pty. Ltd. ACN 091660336, retains all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against Plus Architecture resulting from unauthorised changes, or to release the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. Plus Architecture makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.



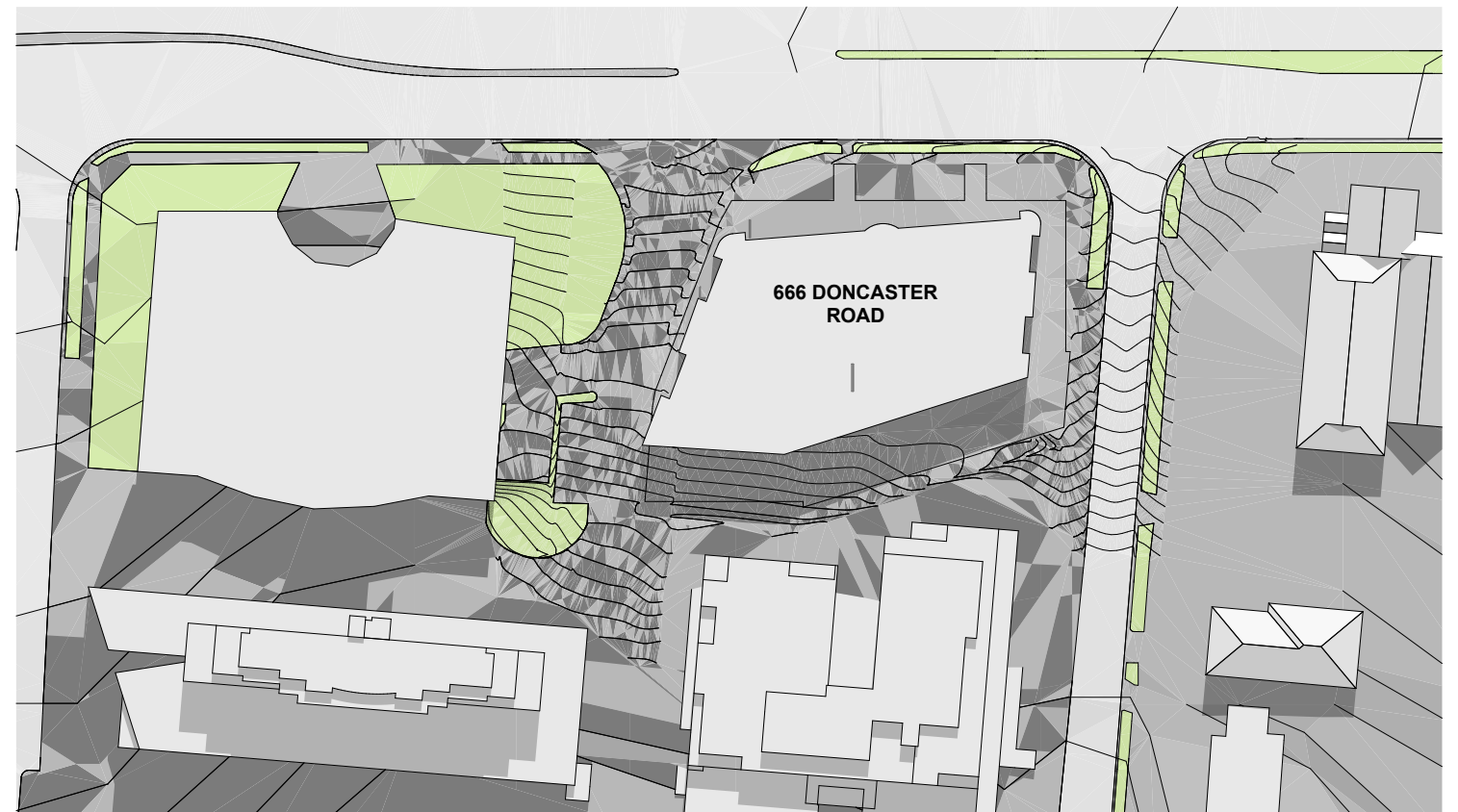
9:00 AM EXISTING SHADOWS 22nd SEPTEMBER



10:00 AM EXISTING SHADOWS 22nd SEPTEMBER

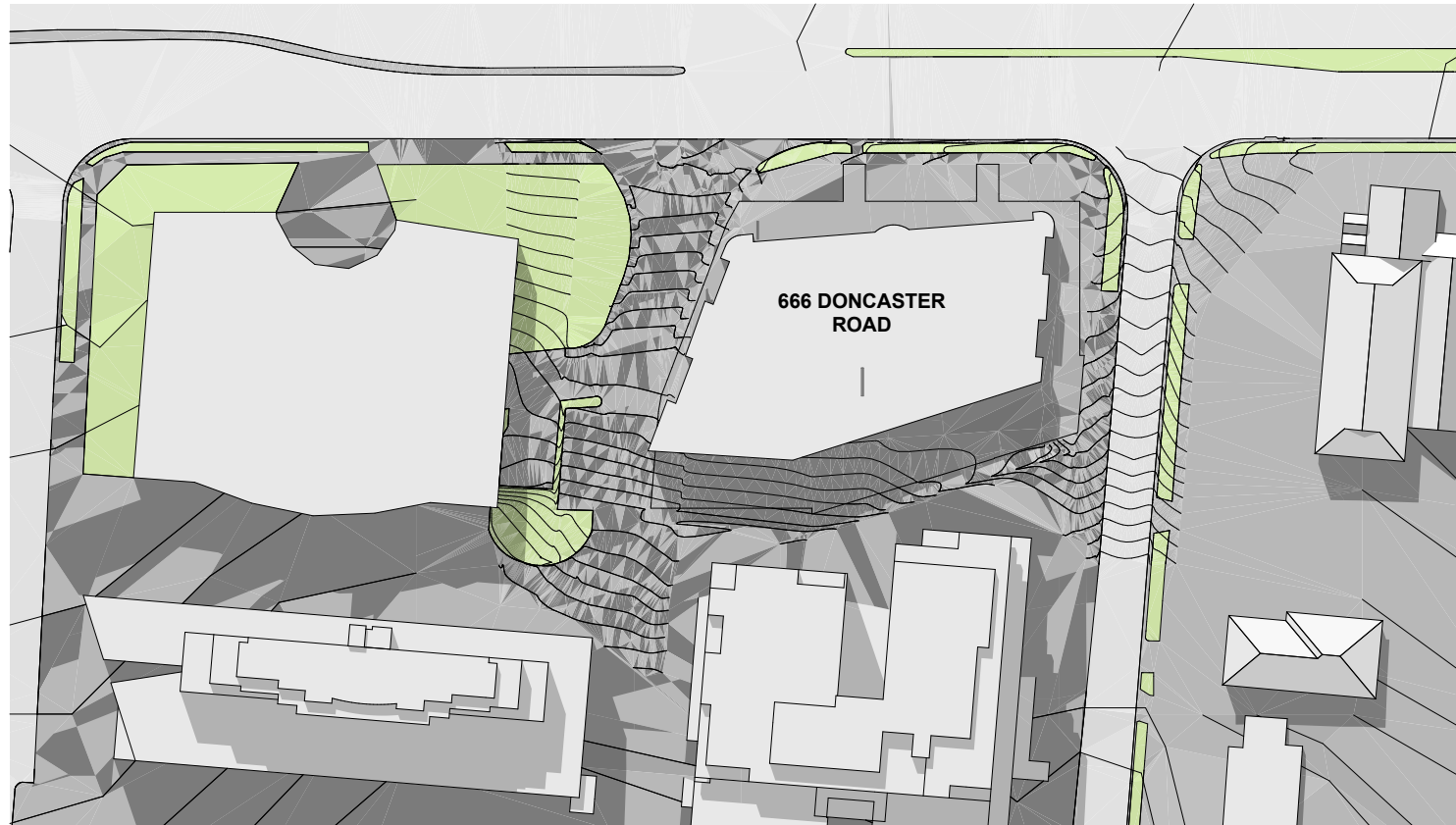


11:00 AM EXISTING SHADOWS 22nd SEPTEMBER

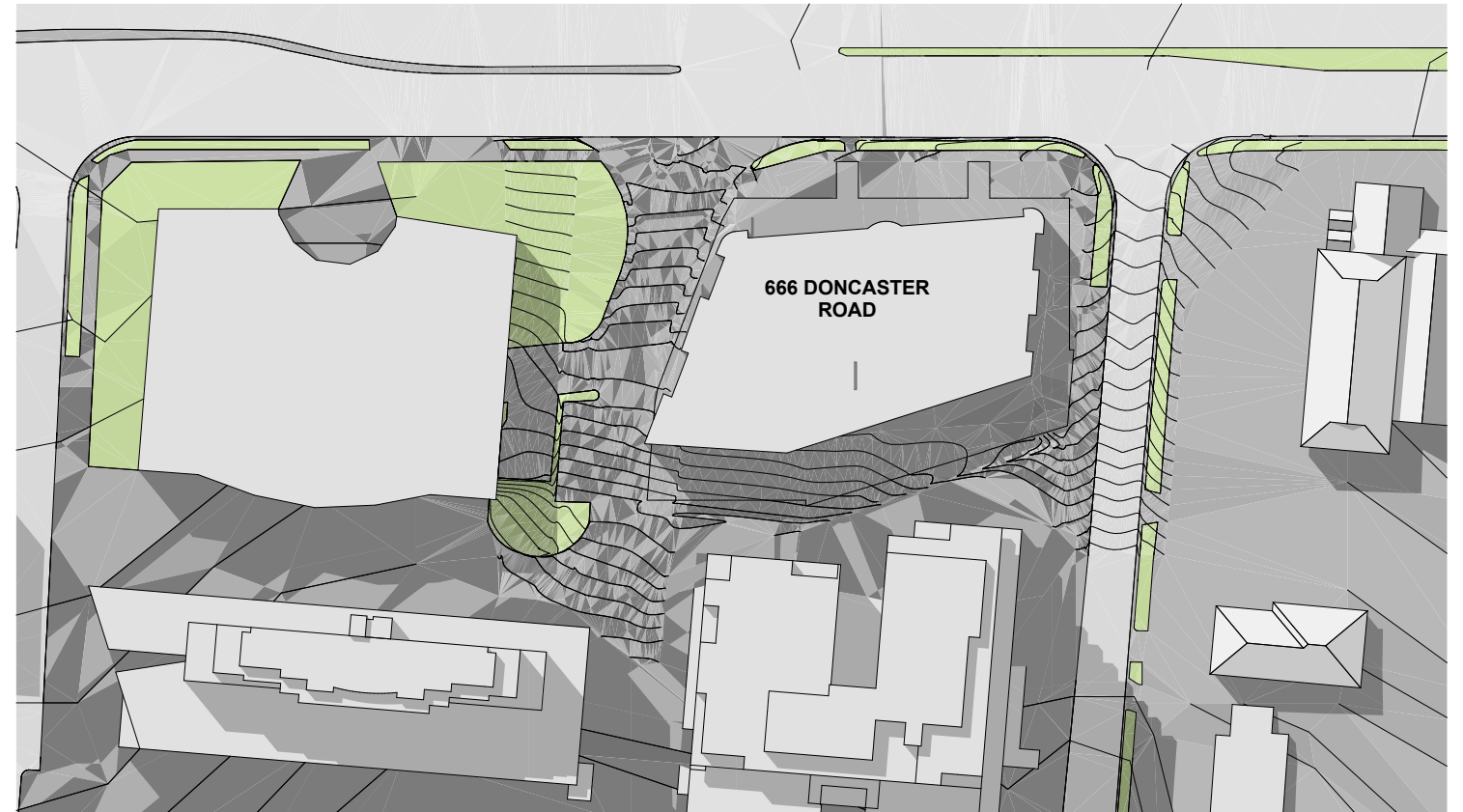


12:00 PM EXISTING SHADOWS 22nd SEPTEMBER





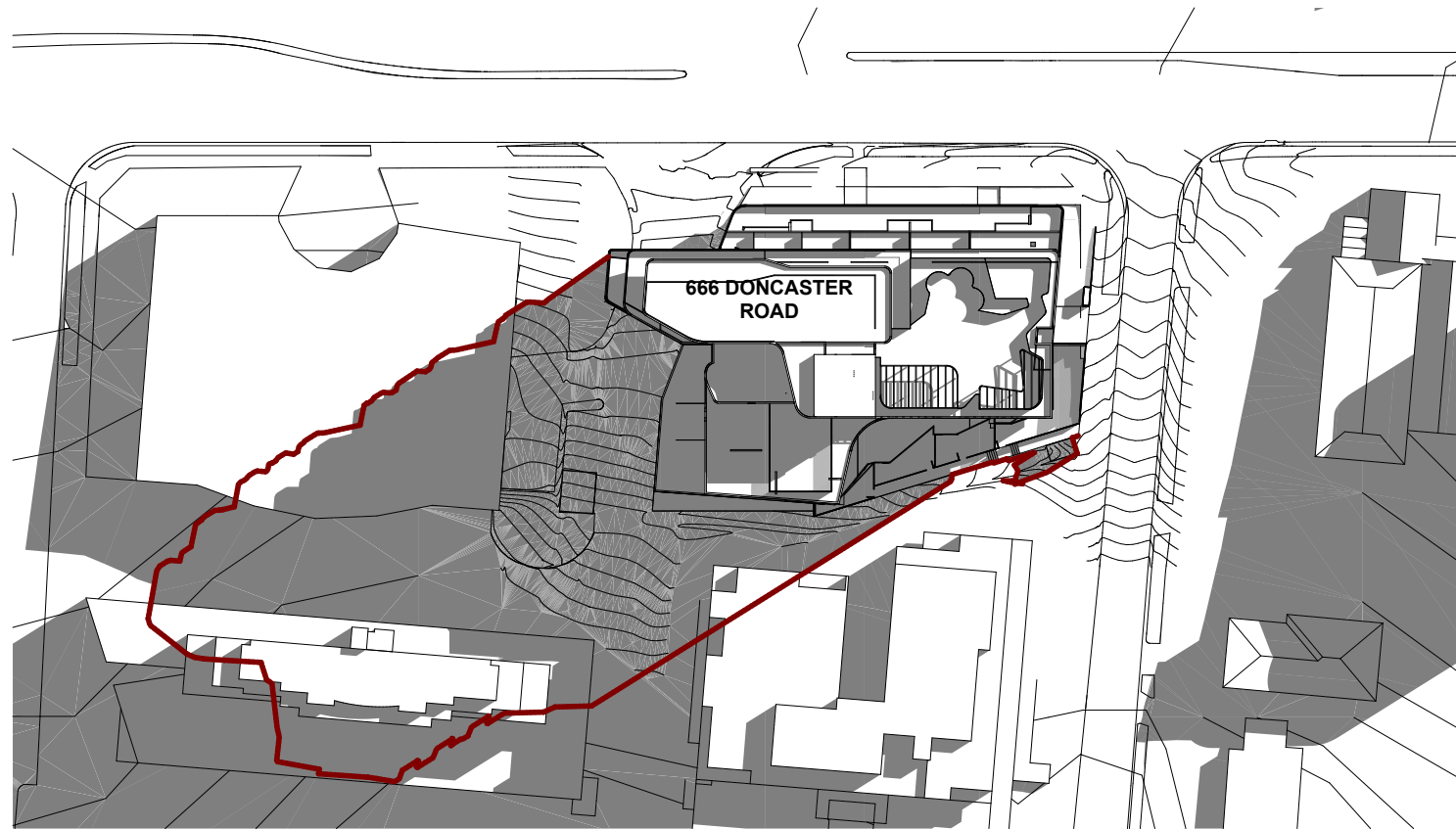
1:00 PM EXISTING SHADOWS 22nd SEPTEMBER



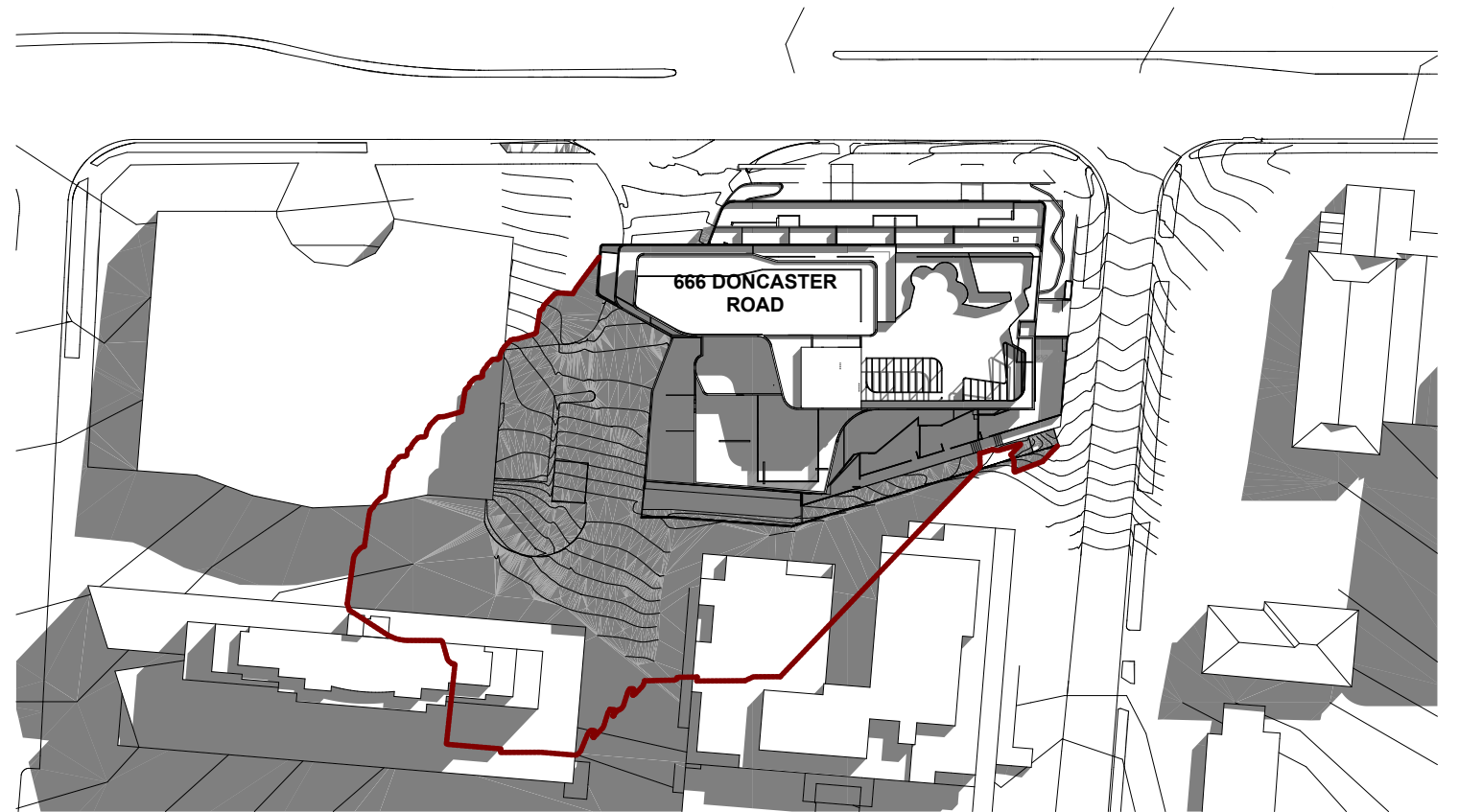
2:00 PM EXISTING SHADOWS 22nd SEPTEMBER



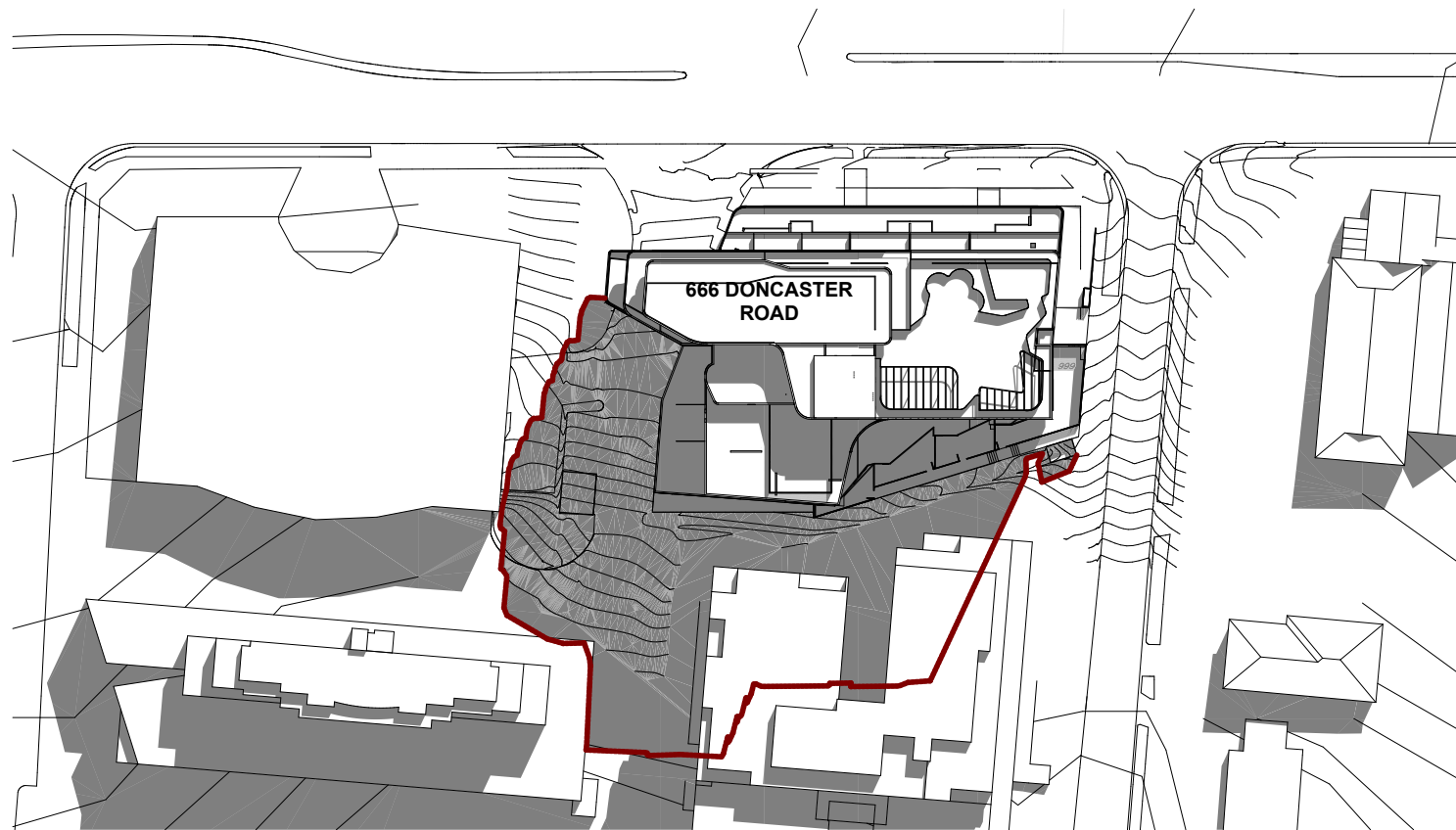
3:00 PM EXISTING SHADOWS 22nd SEPTEMBER



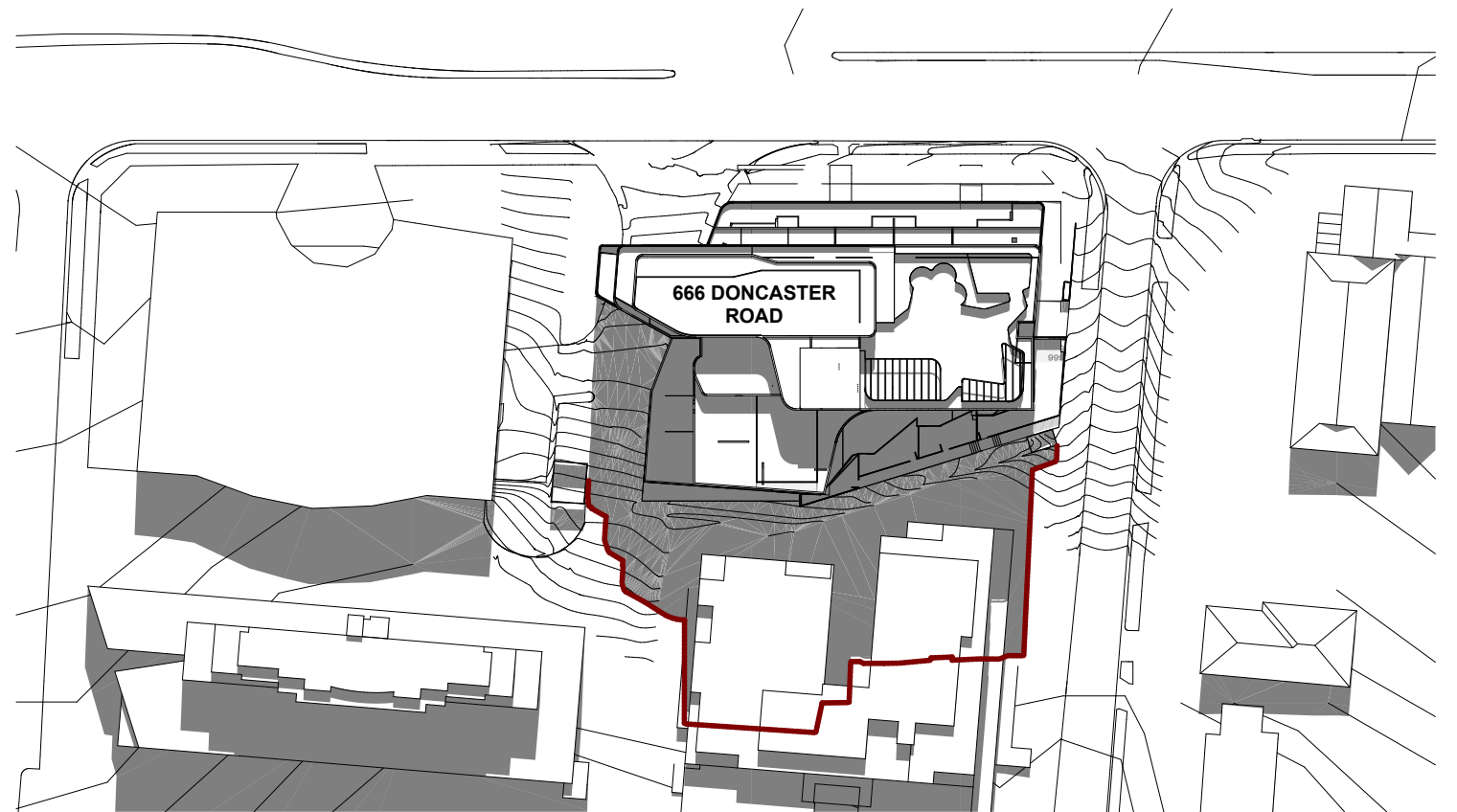
9:00 AM PROPOSED SHADOWS 22nd SEPTEMBER



10:00 AM PROPOSED SHADOWS 22nd SEPTEMBER

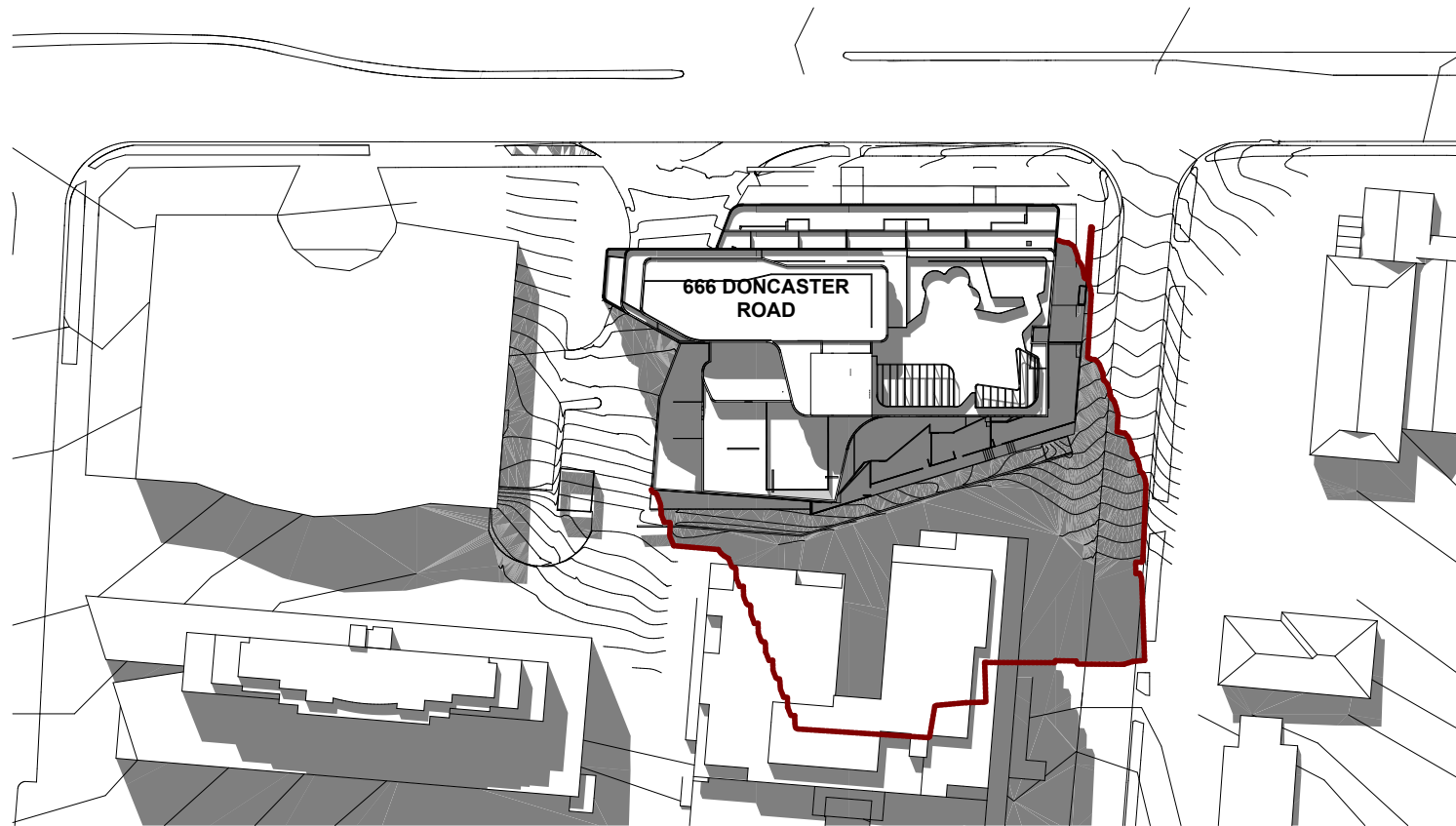


11:00 AM PROPOSED SHADOWS 22nd SEPTEMBER

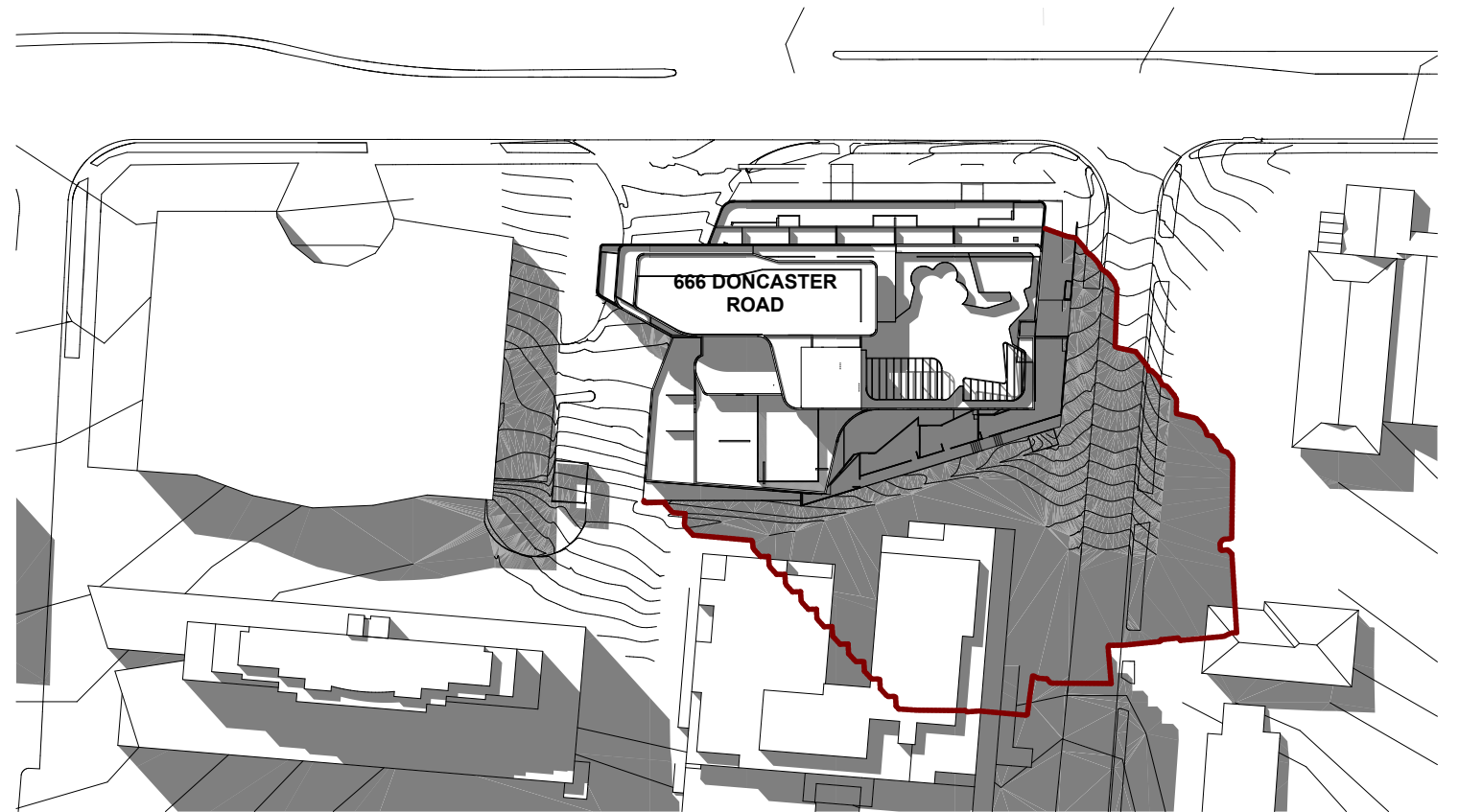


12:00 PM PROPOSED SHADOWS 22nd SEPTEMBER





1:00 PM PROPOSED SHADOWS 22nd SEPTEMBER



2:00 PM PROPOSED SHADOWS 22nd SEPTEMBER

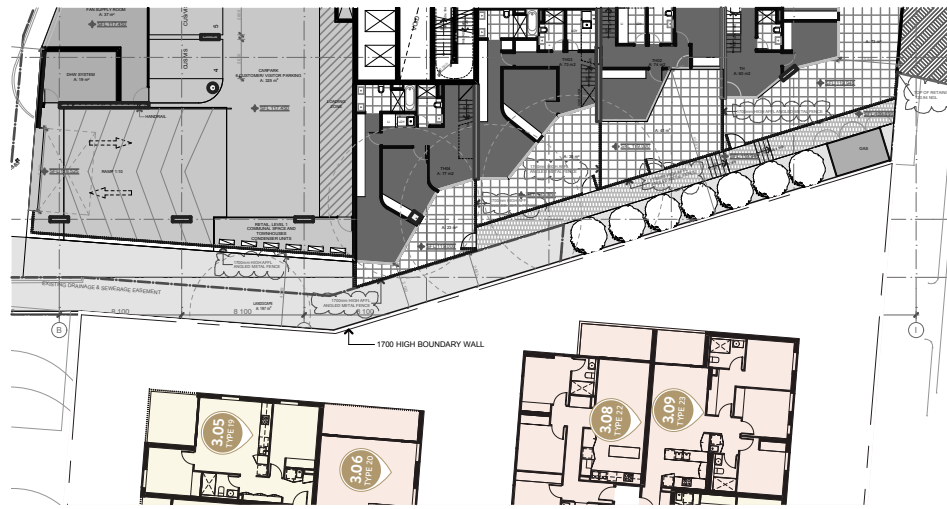


3:00 PM PROPOSED SHADOWS 22nd SEPTEMBER

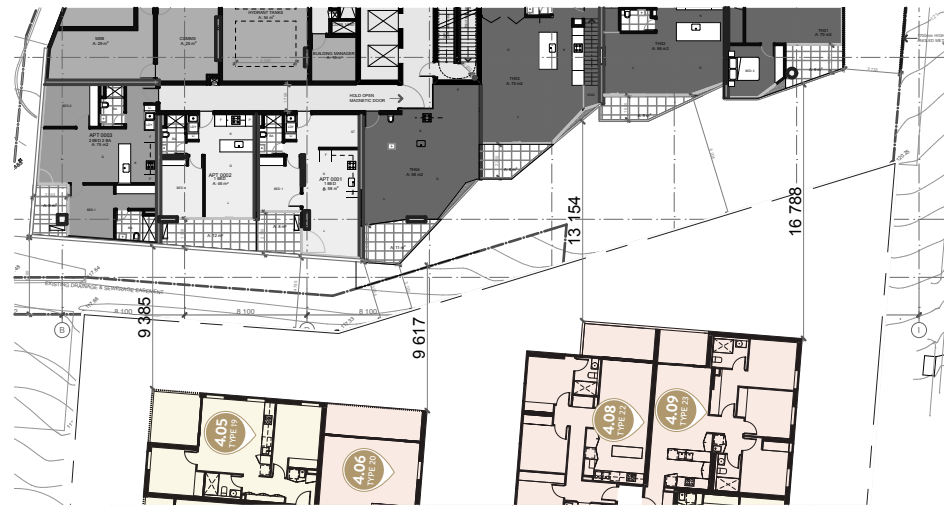


12:00 PM PROPOSED SHADOWS 22nd JUNE

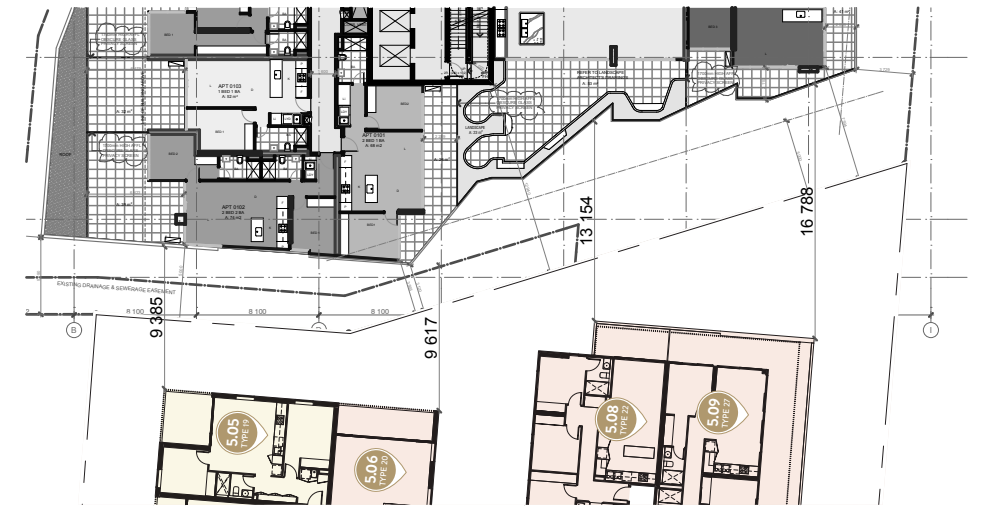




LOWER GROUND (MAGNOLIA LEVEL 03)



GROUND (MAGNOLIA LEVEL 04)



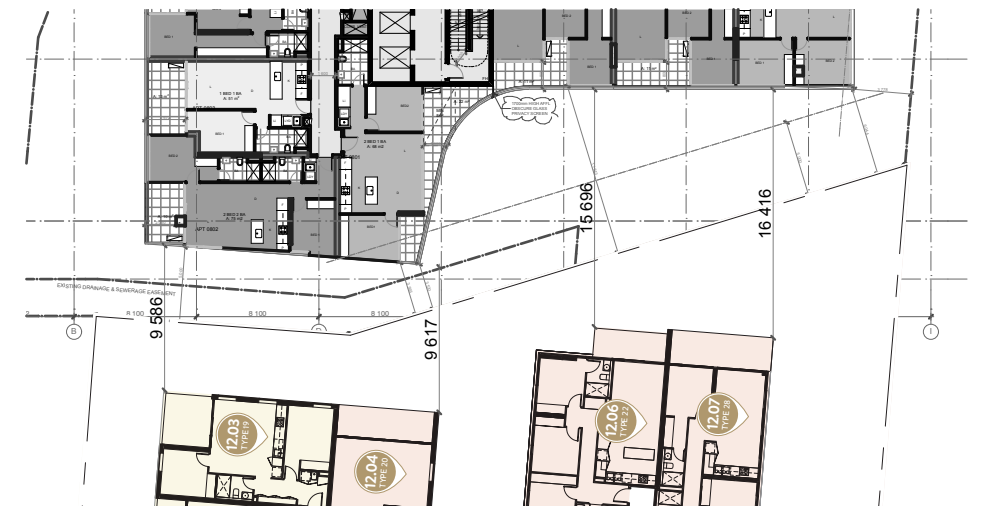
LEVEL 01 (MAGNOLIA LEVEL 05)



LEVEL 02 (MAGNOLIA LEVEL 06, 08 & 10)



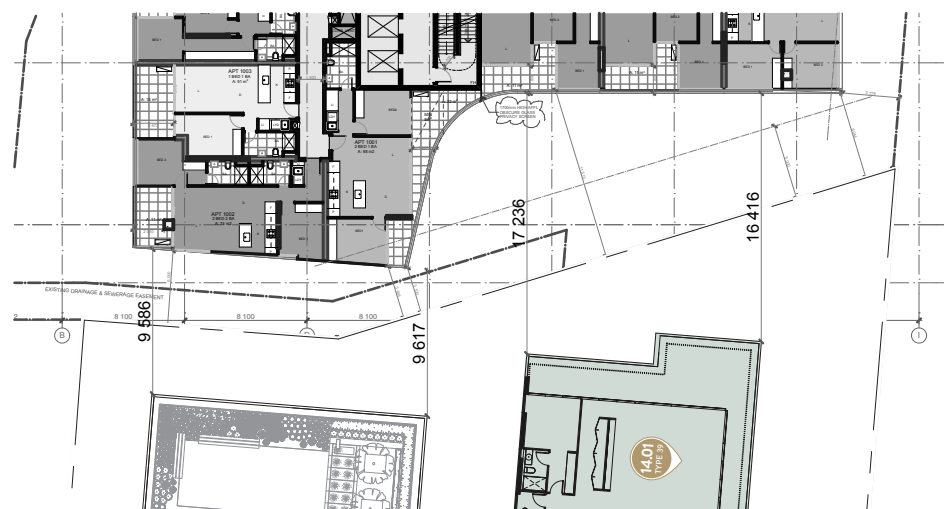
LEVEL 03 (MAGNOLIA LEVEL 07, 09 & 11)



LEVEL 08 (MAGNOLIA LEVEL 12)



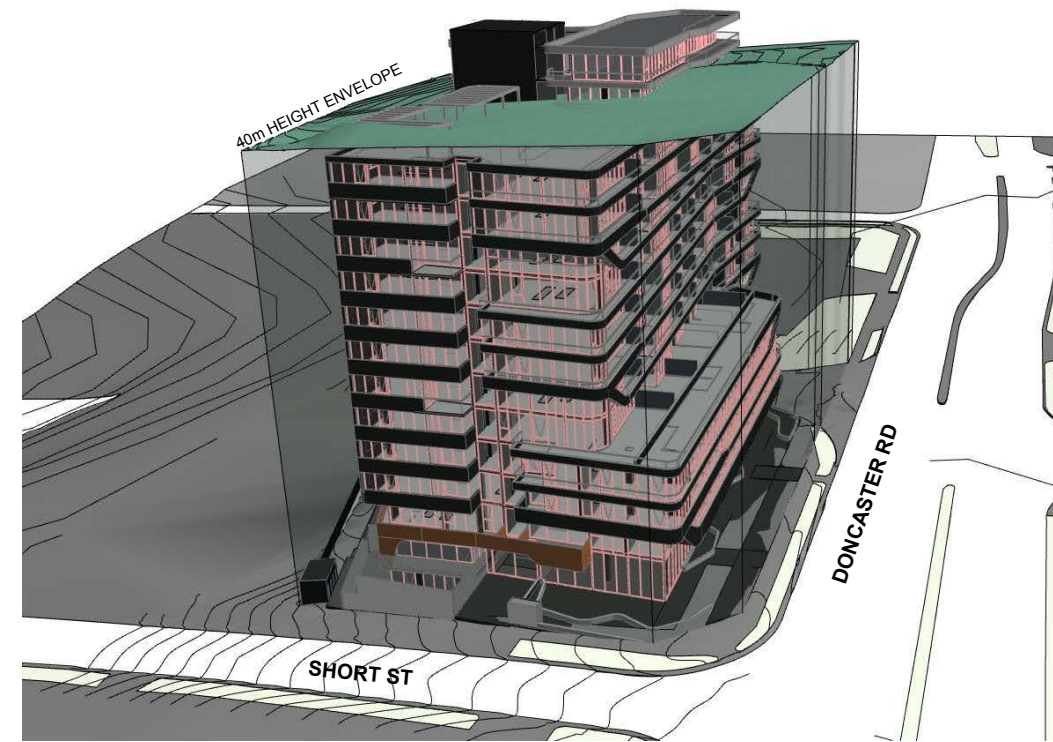
LEVEL 09 (MAGNOLIA LEVEL 13)



LEVEL 10 (MAGNOLIA LEVEL 14)



40M HEIGHT ENVELOPE  
DIAGRAM







GbLA LANDSCAPE ARCHITECTS

Level 3, 248 Burwood Rd  
Hawthorn VIC 3122

PO Box 2376  
Hawthorn VIC 3122

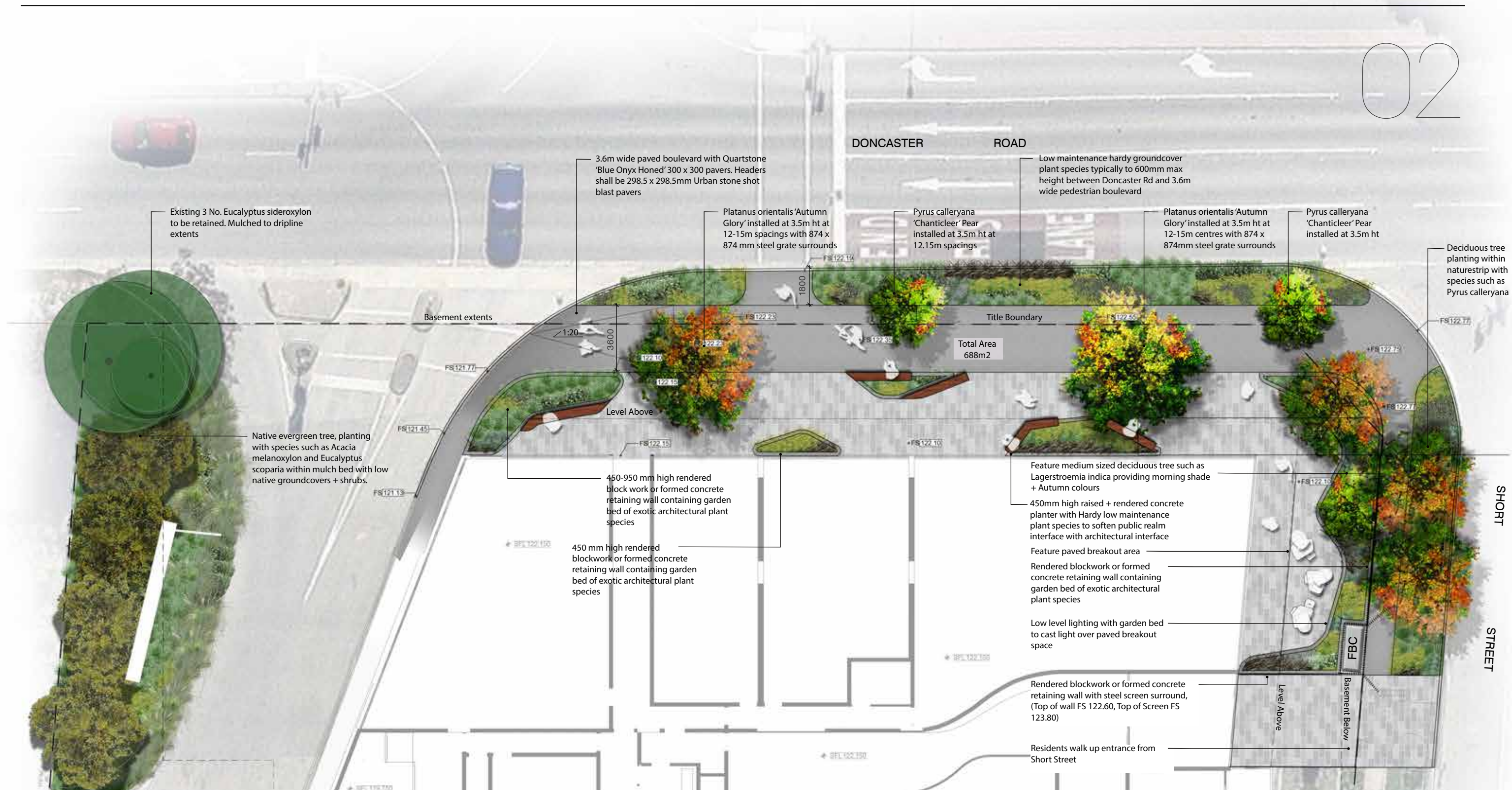
# 666 Doncaster Rd

# DONCASTER

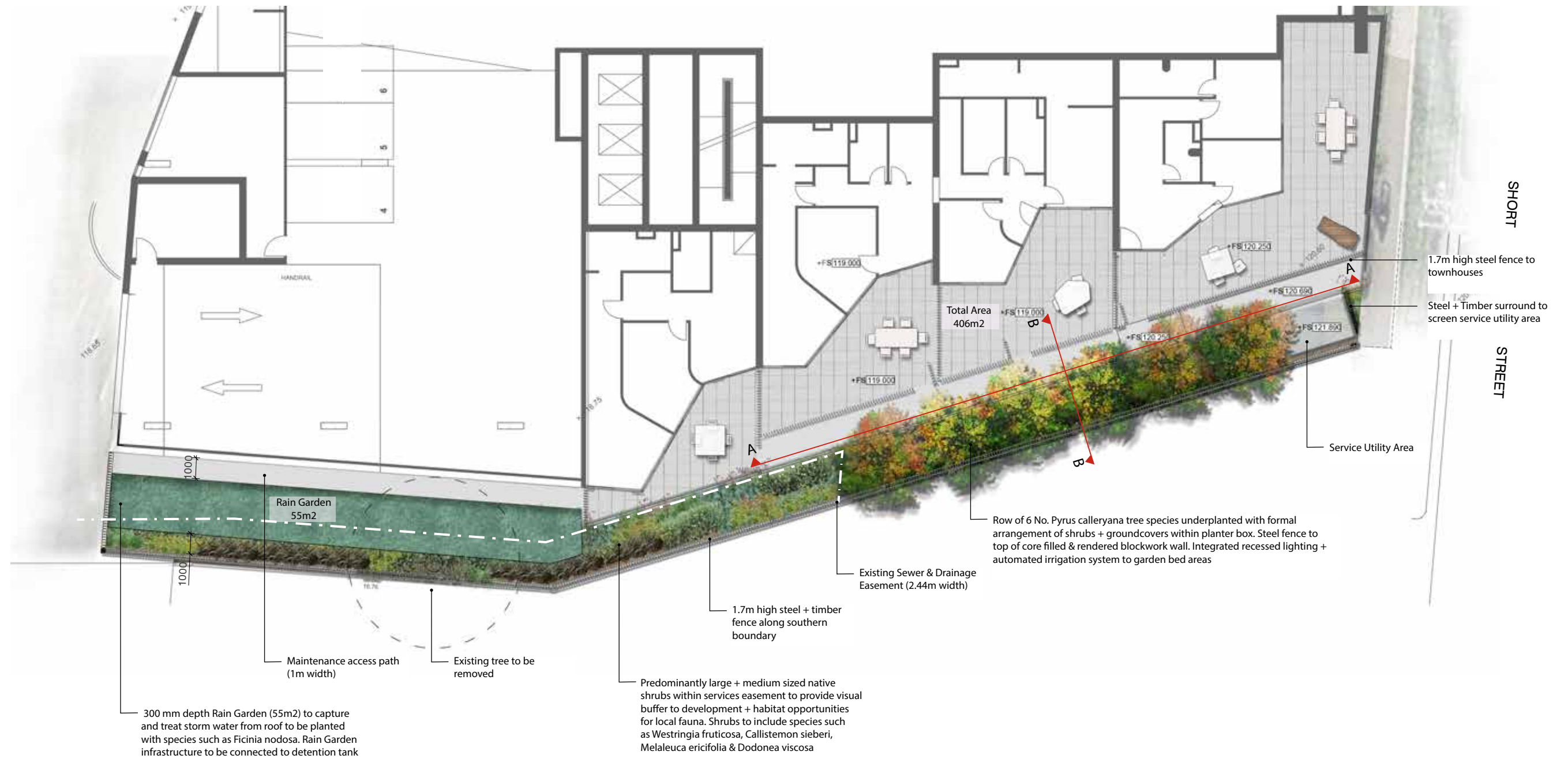
Town Planning Landscape Documentation











Project No:15028

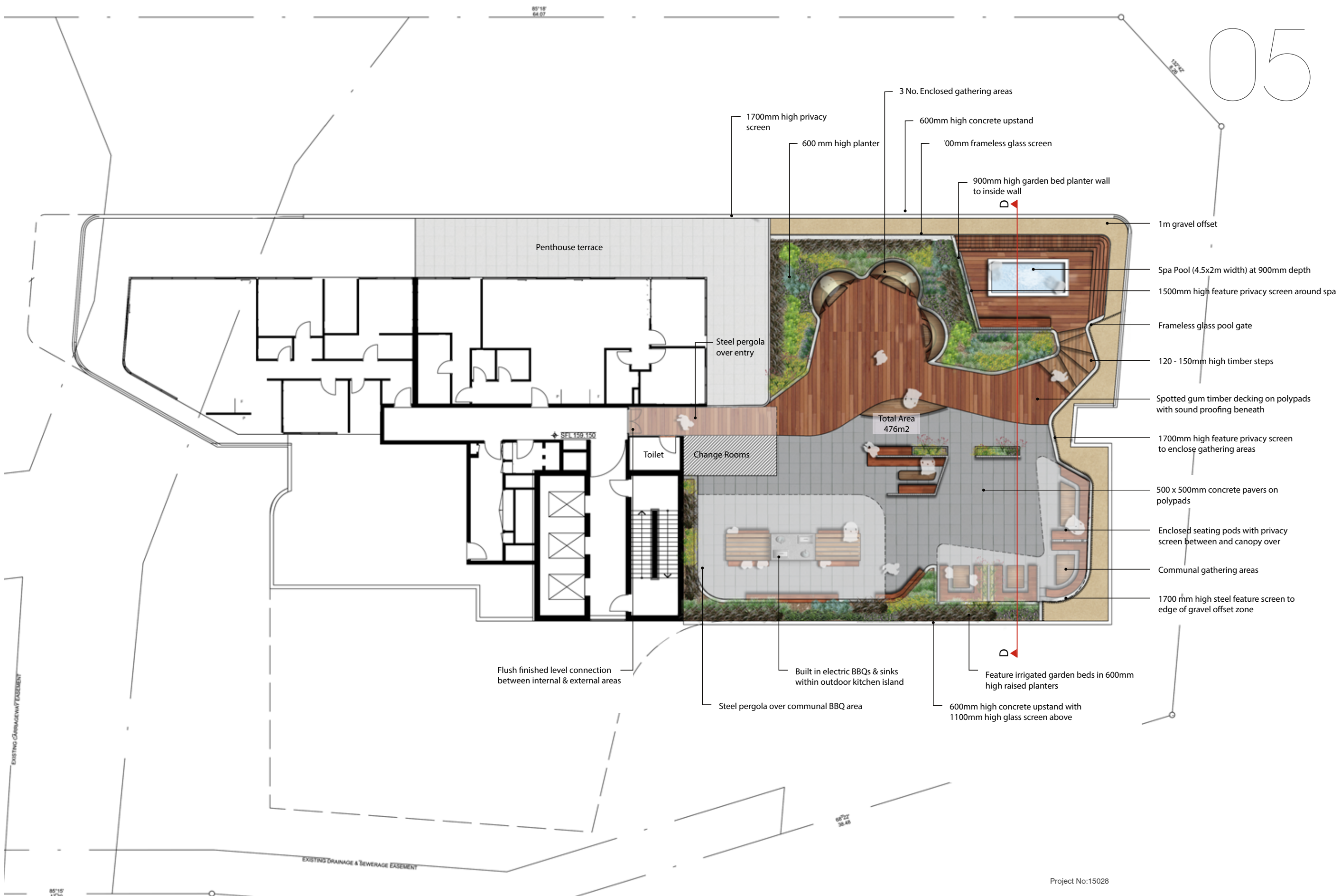
666 Doncaster Rd, Doncaster  
Town Planning - Landscape

LOWER GROUND LEVEL

Scale 1:100 @ A1 | 0 | 2000mm | 5000mm | 17.11.2016



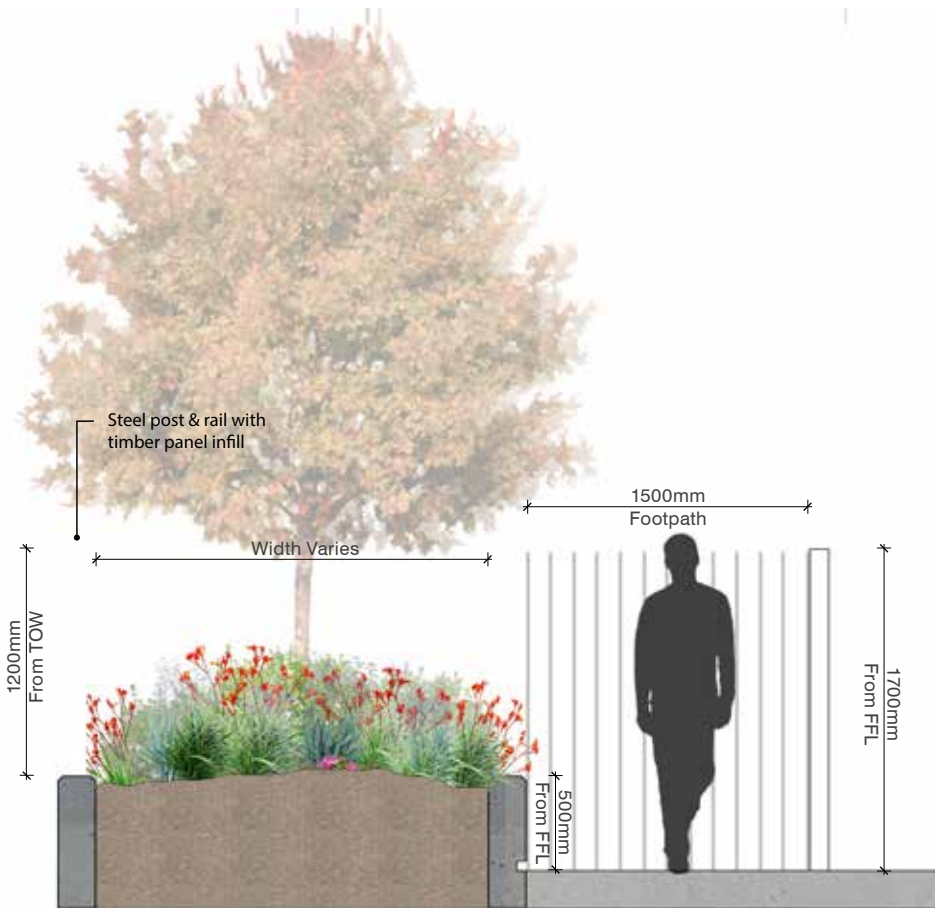




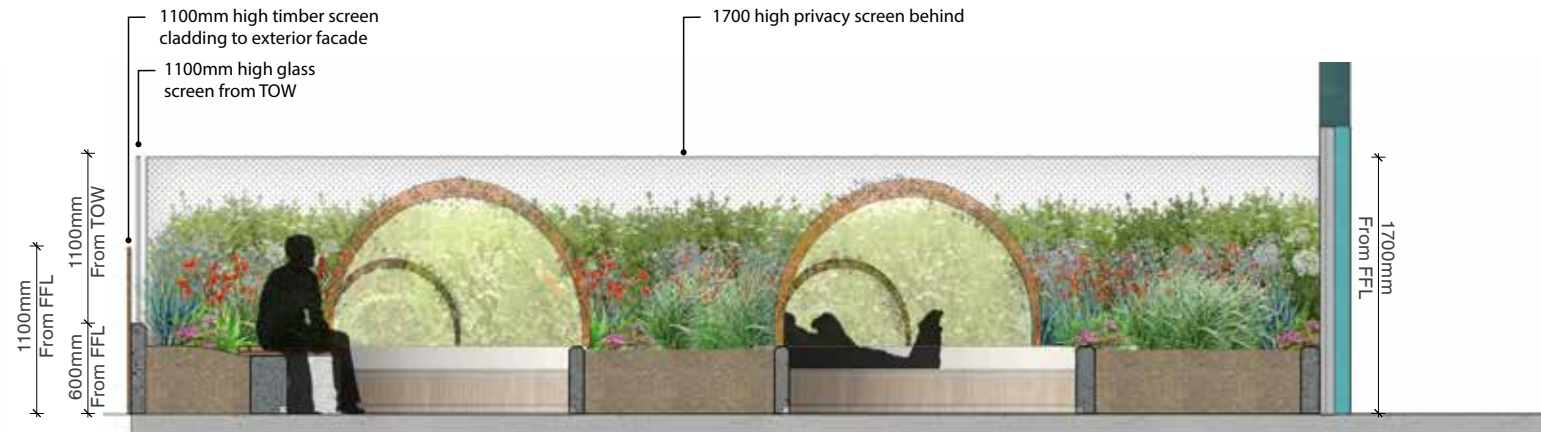




Elevation AA (Lower Ground Level)  
Scale 1:50 @ A1



Elevation BB (Lower Ground Level)  
Scale 1:20 @ A1



Elevation CC (Level 1)  
Scale 1:25 @ A1



Elevation DD (Level 12)  
Scale 1:50 @ A1



# PLANT PALETTE

07

## Trees

*Lagerstroemia indica*  
hwx: 6-8x4m



*Pyrus calleryana* 'Chanticleer Pear'  
hwx: 11x6m



*Platanus orientalis* 'Autumn Glory'  
hwx: 15x10m



## Large Shrubs

*Prunus lusitanica* 'angustifolia'  
hwx: 3x2m



*Viburnum odoratissimum*  
hwx: 2-4 x 2m



*Laurus nobilis*  
hwx: 3x4m



*Phormium cookianum*  
hwx: 2x2m



*Westringia fruticosa*  
hwx: 2-4 x 2m



*Grevillea lavandulacea*  
hwx: 1x1.5m



*Grevillea* 'Gaudi-Chaudi'  
hwx: 0.3 x 2m



*Callistemon sieberi*  
hwx: 3 x 2m



*Melaleuca ericifolia*  
hwx: 7 x 6m



*Dodonaea viscosa*  
hwx: 3 x 1.5m



## Small Shrubs

*Agave attenuata*  
hwx: 1.5-3x1.5m



*Hardenbergia violacea*  
hwx: 3x1.5m



*Anigozanthos flavidus*  
hwx: 2x1m



*Rhaphiolepis umbellata*  
hwx: 1.5x1.5m



*Banksia* 'Birthday Candles'  
hwx: 0.2x0.5m



## Grasses, Groundcovers + Climbers

*Dianella caerulea*  
hwx: 0.4x0.4m



*Dianella prunina*  
hwx: 0.5x0.5m



*Myoporum parvifolium*  
hwx: 0.4x1.5m



*Stachys byzantina*  
hwx: 0.6x0.75m



*Dianella longifolia*  
hwx: 0.4x0.4m



*Lomandra tanika*  
hwx: 0.5-0.7x0.7m



*Lomandra longifolia*  
hwx: 0.6x1m



*Hardenbergia violacea*  
hwx: 3x0.2m



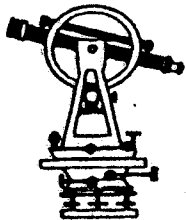
*Correa reflexa*  
hwx: 0.5x1m



*Trachelospermum jasminoides*  
hwx: Climberx2.5m







**M. J. PARSONS & ASSOCIATES**

**Land Surveyors  
Subdivision / Planning Consultants**

A Division of : Bundacree Valley Pty. Ltd.  
A.B.N. 20 006 499 743 A.C.N. 006 499 743

125 Garden Hill Court  
Kangaroo Ground, Vic., 3097

**CORRESPONDENCE:  
P.O. Box 932, ELTHAM, 3095**

Telephone: 03 9712 0692  
Facsimile : 03 9712 0728  
Email: m.j.parsons@optusnet.com.au

**FORM 1**

Regulation 6 Subdivision (Procedures) Regulations 2011  
**SUBDIVISION ACT 1988**  
**APPLICATION FOR CERTIFICATION OF PLAN**

**PART A**

**PLAN No:** Surveyors Ref: 5915B

**TO:** Manningham City Council

I, Maxwell James Parsons of 125 Garden Hill Court, Kangaroo Ground, Vic., 3097 Tel: 03 9712 0692

apply to have the attached

- \* ~~PLAN OF SUBDIVISION~~
- \* ~~PLAN OF CONSOLIDATION~~
- \* ~~PLAN FOR CREATION / REMOVAL / VARIATION OF EASEMENT / RESTRICTION~~

certified under the Subdivision Act 1988  
and advice of street numbers allocated.

1. **Situation of land:** 666 Doncaster Road, Doncaster, Vic., 3108
  
2. **Name and address of the Registered Proprietor of land or owner:**  
Brabian Pty. Ltd.,  
817 Old Calder Hwy., Keilor, Vic., 3036
  
3. **Name and address of applicant:**  
  
M. J. PARSONS & ASSOCIATES  
P. O. Box 932, Eltham, Vic., 3095

Does the attached plan do anything requiring the unanimous resolution of the members of the owners corporation under Division 3 of Part 5 of the **Subdivision Act 1988** or an order of the Victorian Civil and Administrative Tribunal under section 34D of the **Subdivision Act 1988**?

YES \* [provide details] / \*NO

If 'YES', have the members of the affected owners corporation passed a unanimous resolution to proceed with the alterations shown on the attached plan?

\*YES/\*NO

If 'NO', has the Victorian Civil and Administrative Tribunal made an order under section 34D of the **Subdivision Act 1988**?

\*YES/\*NO

Signed: 

Name: Maxwell James Parsons

*\*Delete if not applicable.*

IF THE APPLICANT IS NOT THE OWNER, the owner must provide written consent under section 5(5) of the **Subdivision Act 1988**—  
(a) if the application is made in paper form by signing the following—

I/We consent to the applicant submitting this plan to the Council for certification.

Signed: \_\_\_\_\_

Name: Director: Brabian Pty. Ltd.

(b) if the application is made in a form other than paper the owner's written consent (in the form set out under paragraph (a)) must be provided in a separate document.

**Note 1:** The applicant must sign this application whether or not the applicant is the owner.

**Note 2:** If the applicant is not the owner, the owner must either—

(a) if the application is to be lodged in paper, co-sign this application; or

(b) if the application is to be lodged in a form other than paper, give the applicant the written consent required under section 5(5) of the **Subdivision Act 1988** in a separate document.

**Note 3:** Where there is more than one owner, all owners that are not the applicant must co-sign the application or give written consent as set out in Note 2.

**Note 4:** Where there is more than one owner and where an agent is not acting on behalf of all owners, then the owners who are not represented by the agent must co-sign the application or give written consent as set out in Note 2.

**PART B.** Only applicants having "Old Law" land complete this Section (acquiring authorities are not required to complete this section— see section 35(6)(g) of the **Subdivision Act 1988**).

I/We certify that steps have been taken to bring this land under the **Transfer of Land Act 1958**.

Signed: n/a

Name: n/a

**PART C.** [Only acquiring authorities complete this section]

This Part relates to the acquisition of land by

n/a

[insert name of acquiring authority]

**Note 5:** The following should be attached to this application—

(a) a copy of any planning permit applicable to the land or any application for a planning permit made concurrently with this application; or

(b) an extract of the planning scheme indicating any conditions or exemptions which may support your application; or

(c) evidence of referral authorities' consent within the previous 3 months (see section 8 of the **Subdivision Act 1988**).

**Note 6:** If the attached plan does anything requiring either the unanimous resolution of the members of the owners corporation under Division 3 of Part 5 of the **Subdivision Act 1988** or an order of the Victorian Civil and Administrative Tribunal under section 34D of the **Subdivision Act 1988**, a copy of the resolution or the order must be attached to this application.



